

# UNIVERSITY OF KENTUCKY

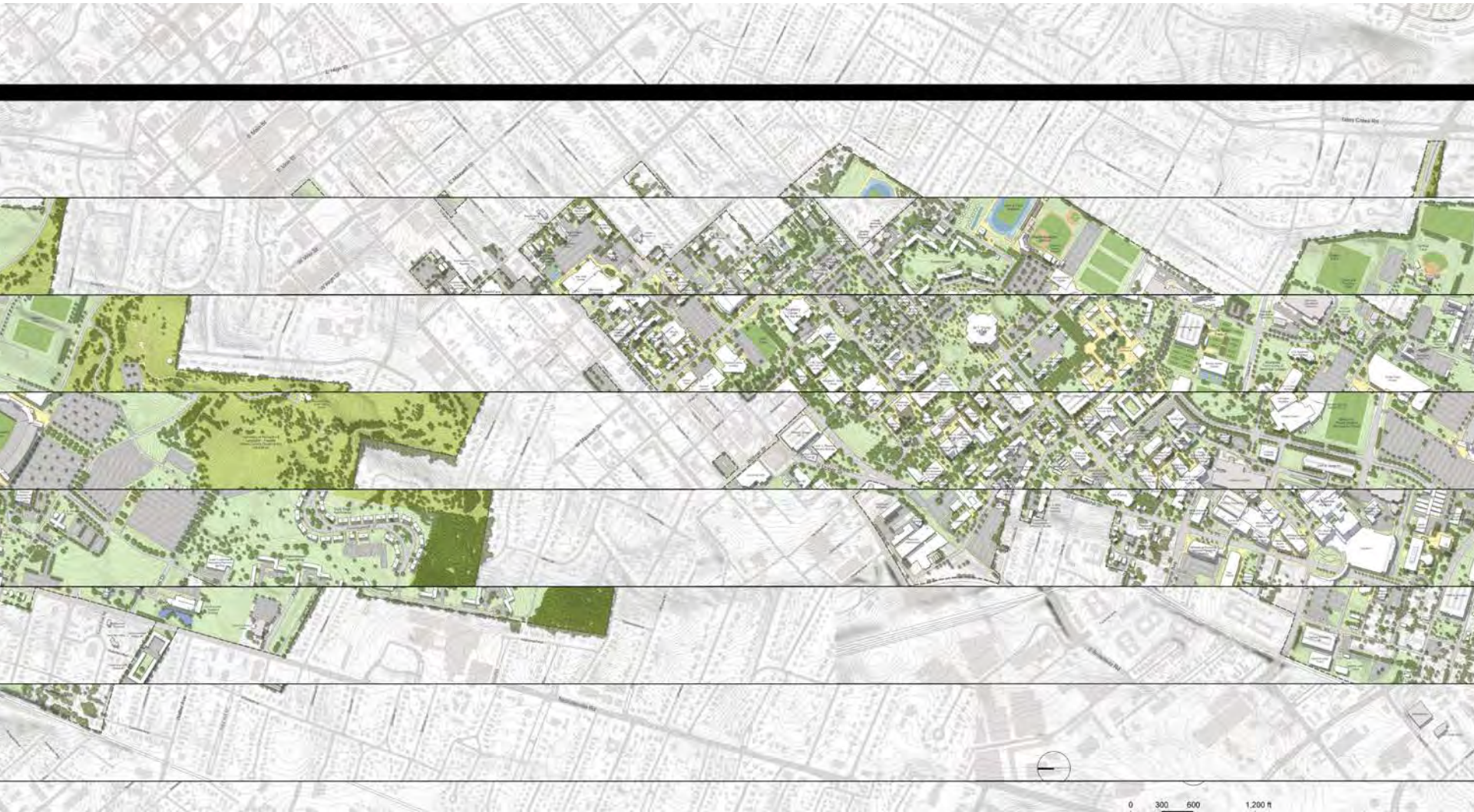
2012 Campus Plan Update  
*Analysis Findings*

15 November 2012

The following presentation reflects Sasaki's initial analysis of campus conditions and is intended to serve as the basis for planning moving forward. No decisions have been made on any of the ideas in the analysis, and input and comments are welcome from all members of the campus community.

To provide comments, please email Judith Needham at [facilities.planner@uky.edu](mailto:facilities.planner@uky.edu)

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# **Agenda**

**Workplan and Schedule**

**Preliminary Survey Findings**

**Master Plan Topics**

**Framework Plan**

**Next Steps**

.

# Key Questions

**Is our analysis accurate?**

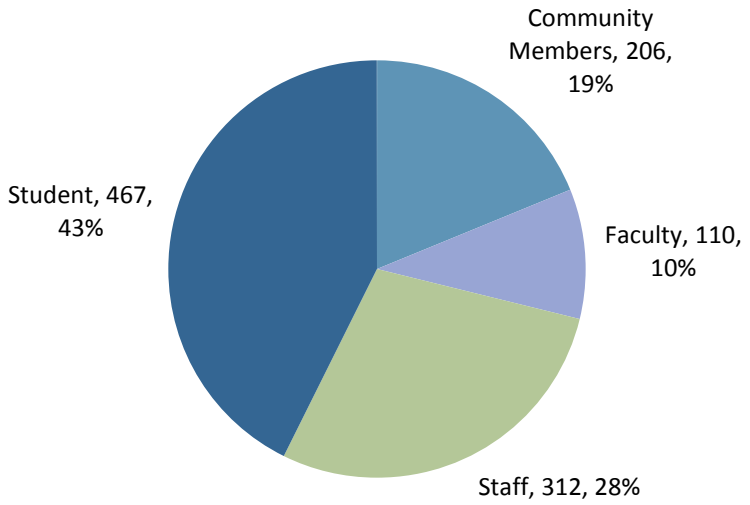
**Reactions to the preliminary Framework Plan?**

**Reactions to the proposed planning principles / “big ideas”?**

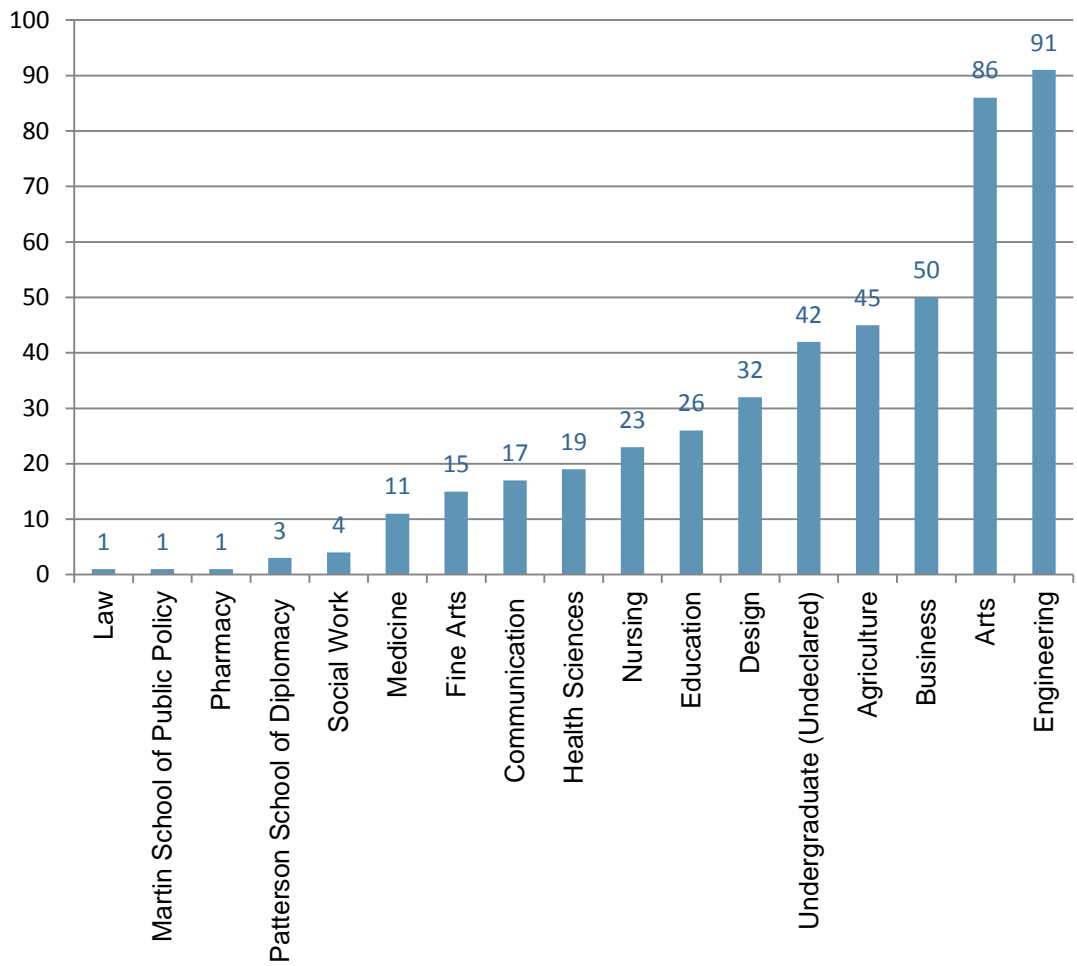
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# **PRELIMINARY SURVEY FINDINGS**

# MyCampus Survey

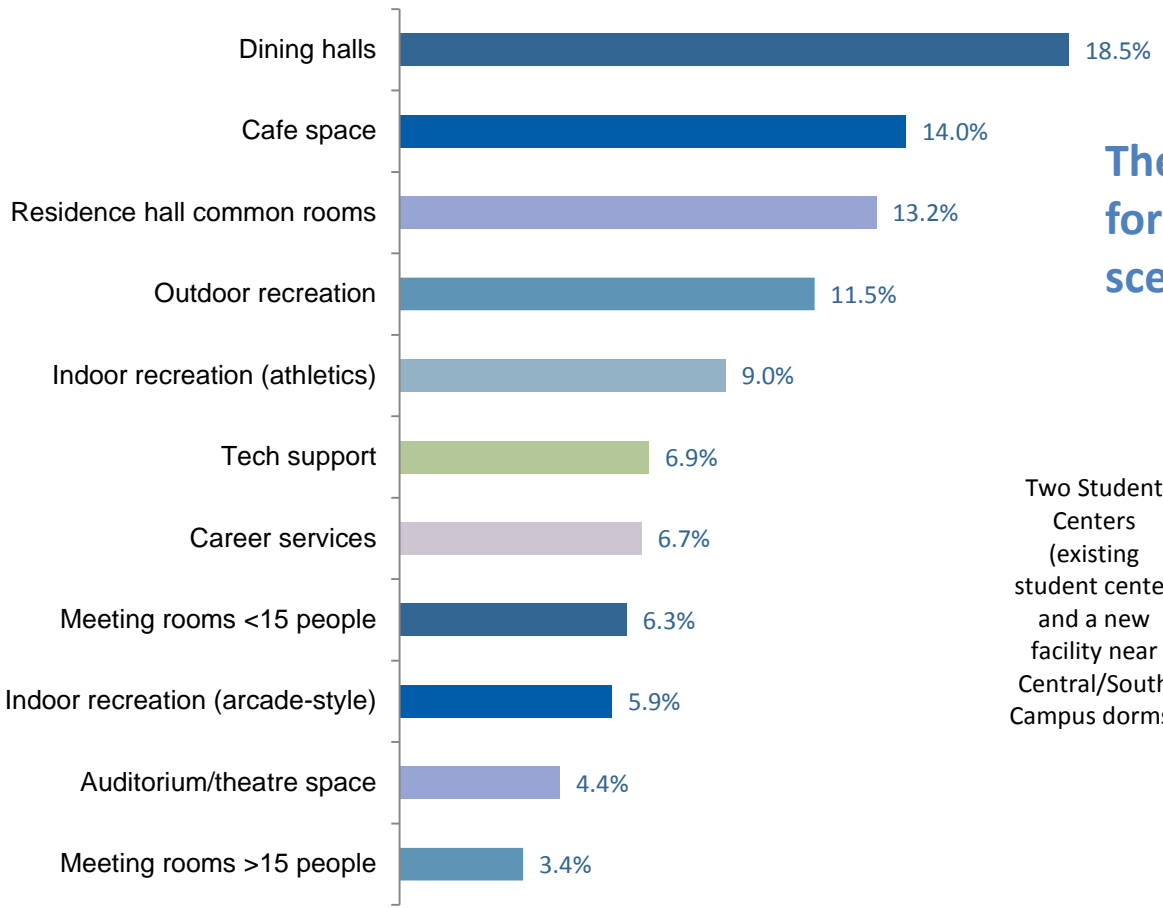


304 Respondents Live On Campus  
(65% of Student Respondents)

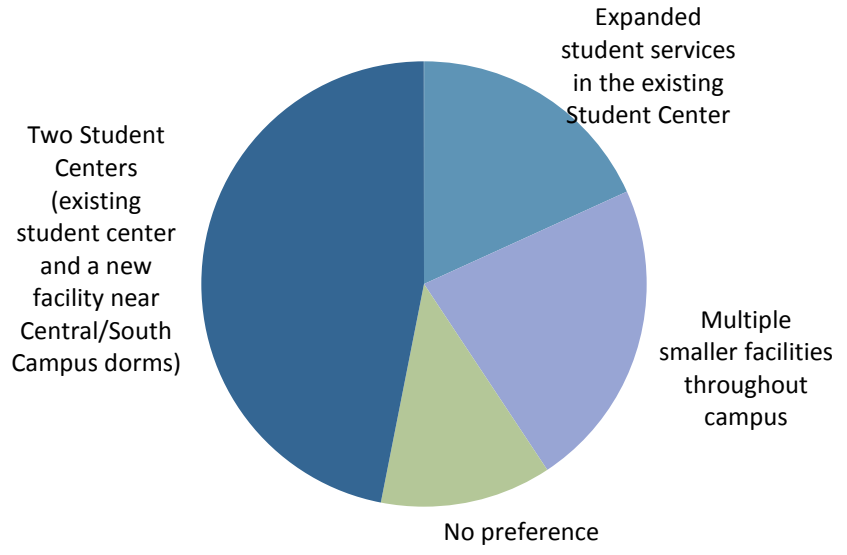


# MyCampus Survey

## What student life amenities should be expanded?



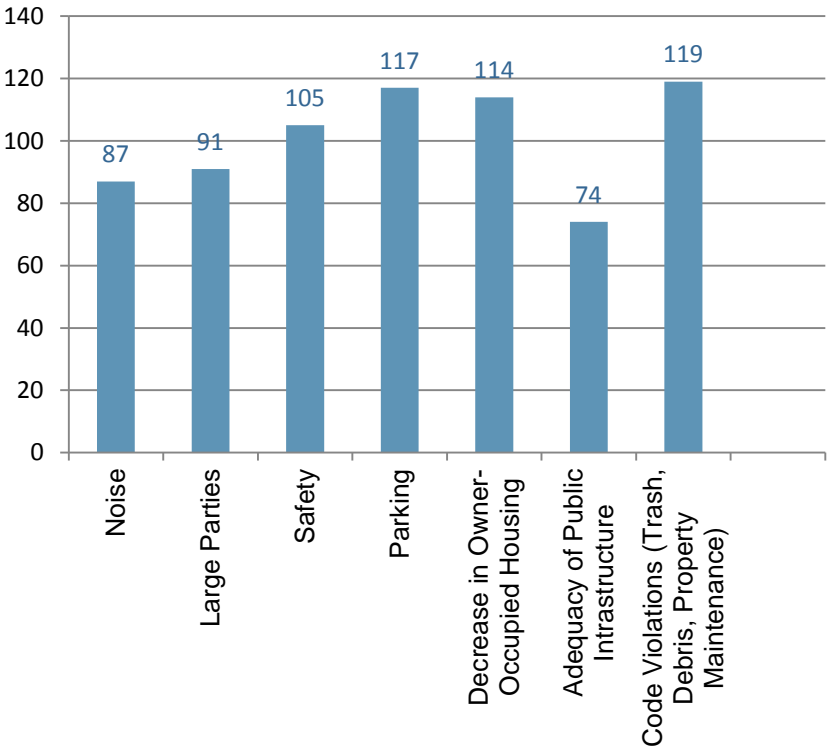
## The master plan will include planning for student services. Which potential scenario would you prefer?



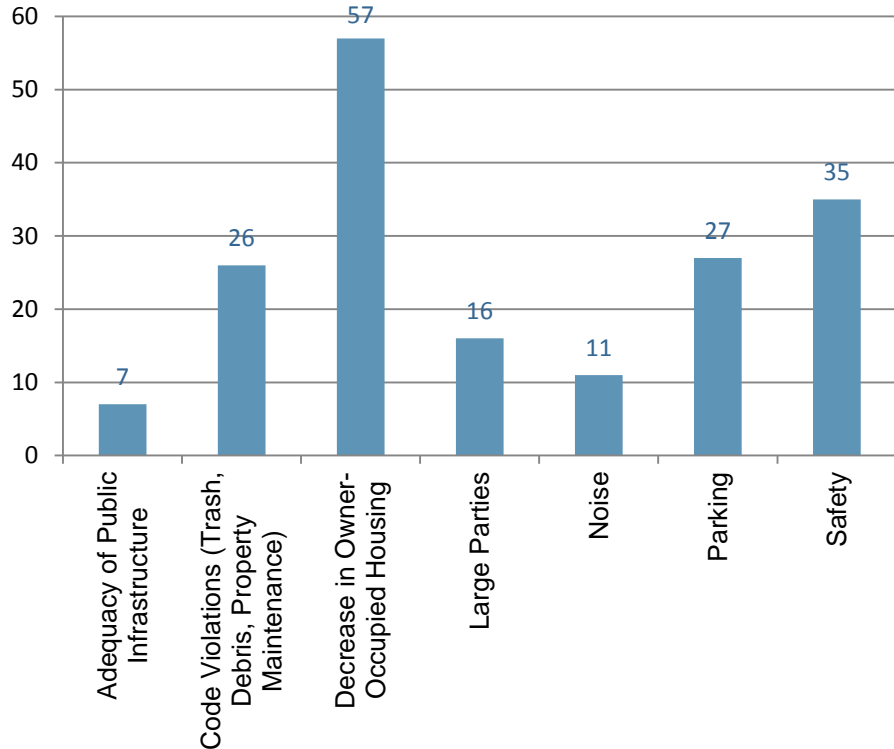


# MyCampus Survey

## What neighborhood issues are of concern to you? (check all that apply)



## What neighborhood issue is of greatest concern?



# MyCampus Survey

## Faculty and Staff Survey Comments

- Parking is stressful. People are often willing to circle for parking or choose off-campus locations to be close to their destinations
- Both WT Young and areas of the academic core were seen as the heart of the campus
- Many academic spaces need improvements
- Pedestrian safety and traffic issues were frequent concerns
- UK has good fitness amenities
- The arboretum is an asset; other outdoor spaces should be improved

# MyCampus Survey

## Student Survey Comments

- There is not a single clear campus heart
- WT Young Library and the Johnson Center are well-loved campus life centers for many students
- There is a desire for better connections between K-Lot and destinations on South Campus, especially for safety
- Improvements are needed in many dorms and academic buildings
- Dining and café space are top student life amenities that students want expanded
- North Campus and South Campus have different student life needs
- The academic core lacks informal study and hangout spaces – ones in Whitehall and POT are in high demand
- UK athletics is an important piece of campus life for many students

# Master Plan Topics

- 1** **COMMUNITY**
- 2** **CIVIC STRUCTURE**
- 3** **MOBILITY**
- 4** **ACADEMIC ENVIRONMENT**
- 5** **CAMPUS LIFE**
- 6** **GROWTH**



# COMMUNITY

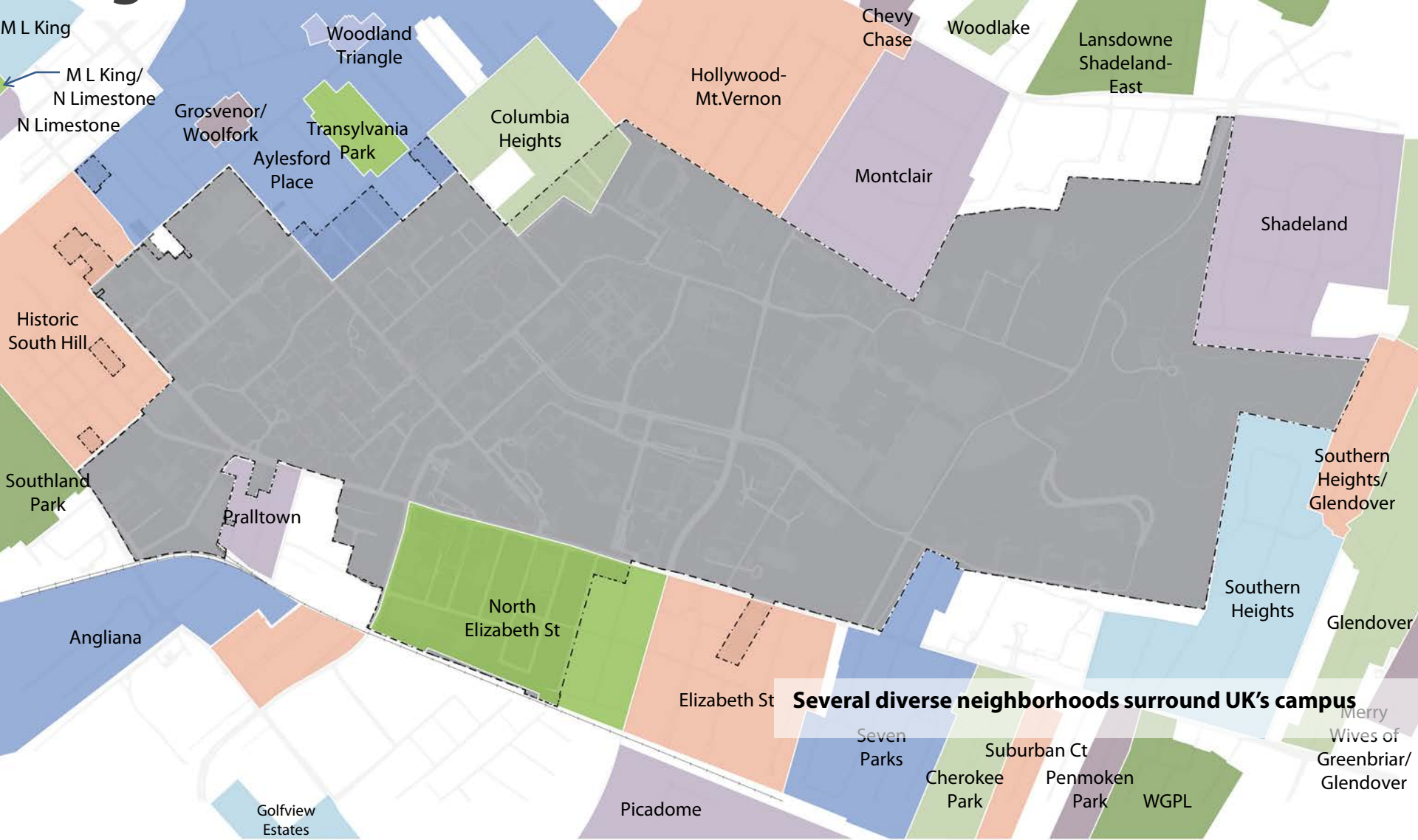
Neighborhoods

Off-Campus Housing

MyCampus Findings

Downtown Partnerships

# Neighborhood Association Boundaries

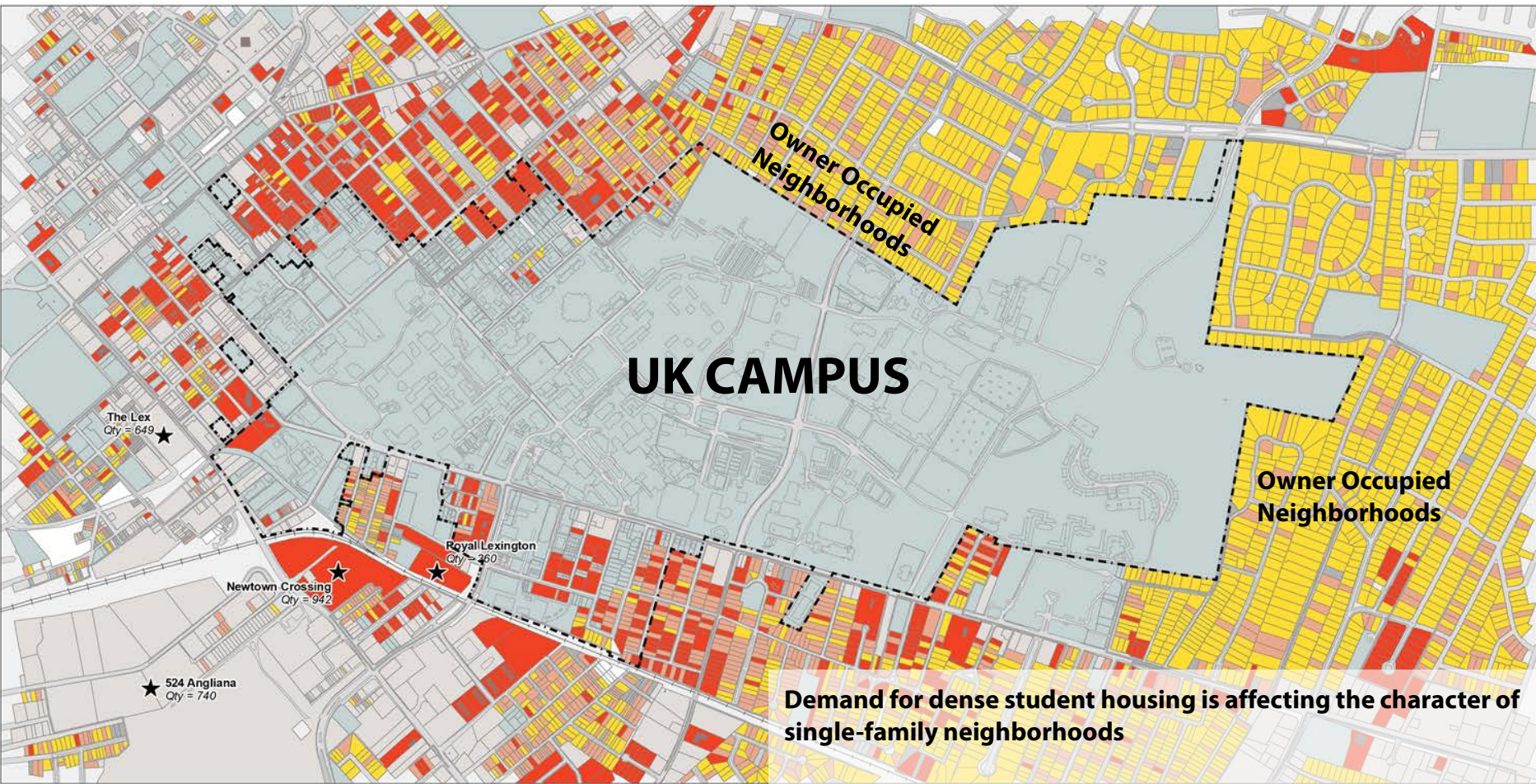


**Several diverse neighborhoods surround UK's campus**

Data Sources:  
Original Map Created by Facilities Management (REV: 20121004)  
Parcel Boundaries - Lexington-Fayette Urban County Government GIS Office (20120821)  
Neighborhood Association Boundaries - Lexington-Fayette Urban County Government GIS Office (20120821)



# Off-Campus Housing Renters and Owners



**UK CAMPUS**

**Owner Occupied Neighborhoods**

**Owner Occupied Neighborhoods**

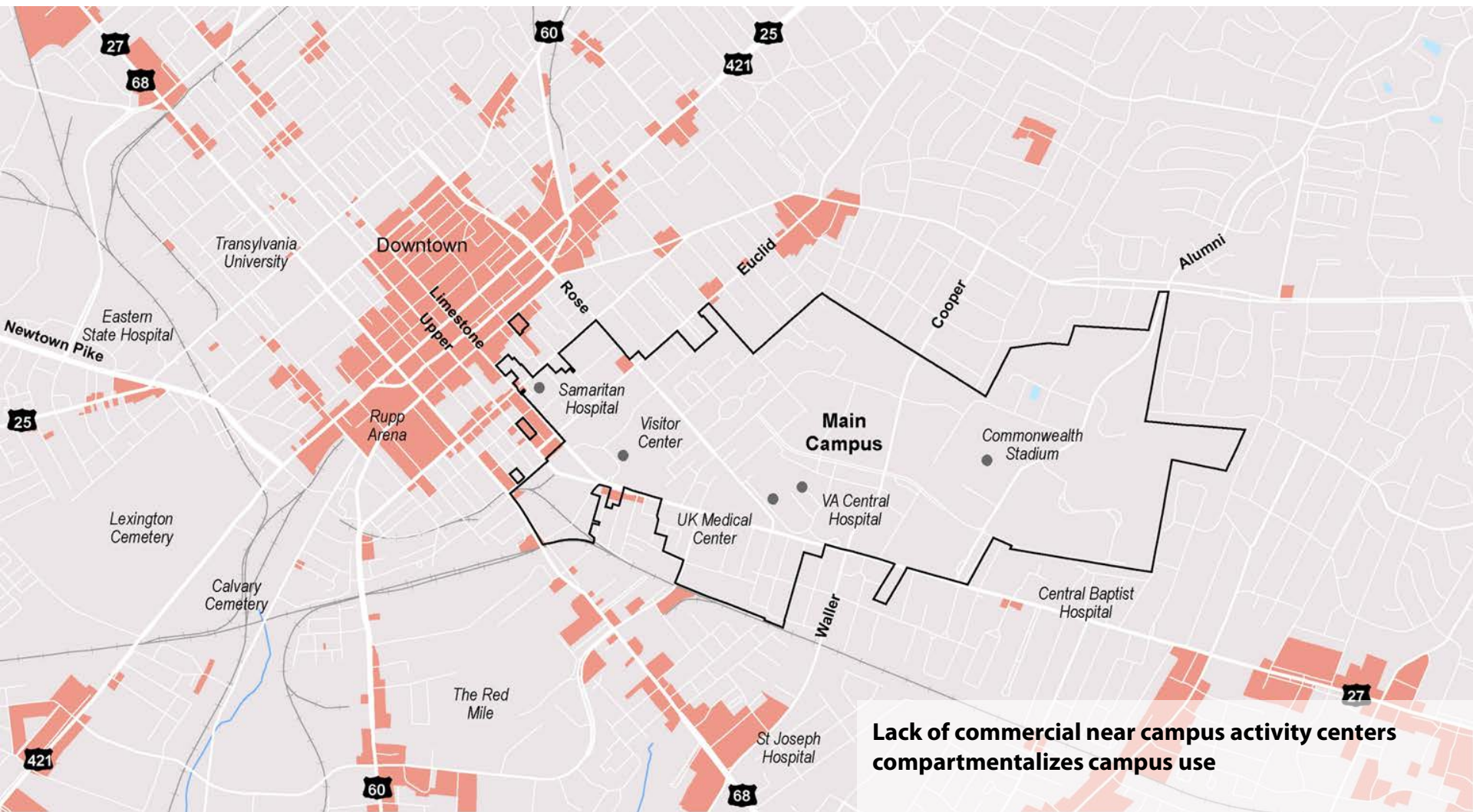
**Demand for dense student housing is affecting the character of single-family neighborhoods**



- ★ Private New Student Housing Complex
- University of Kentucky Boundary
- Incomplete Data
- Commercial
- Exempt Church, Government, Hospital, Non-Profit, School, or University
- Residential - 1 Unit Owner Address Does Match Property Address
- Residential - 1 Unit Owner Address Does Not Match Property Address
- Residential - More than 1 Unit (Apartment, Condominium, or Duplex)
- Non-Residential Property

**Bed Count Totals**  
 Complexes Shown on Map = **2,691**  
 Complexes Not Shown on Map (incl. The Courtyards, Campus Court at Red Mile, and Red Mile Village) = **1,478**

# Commercial Activity

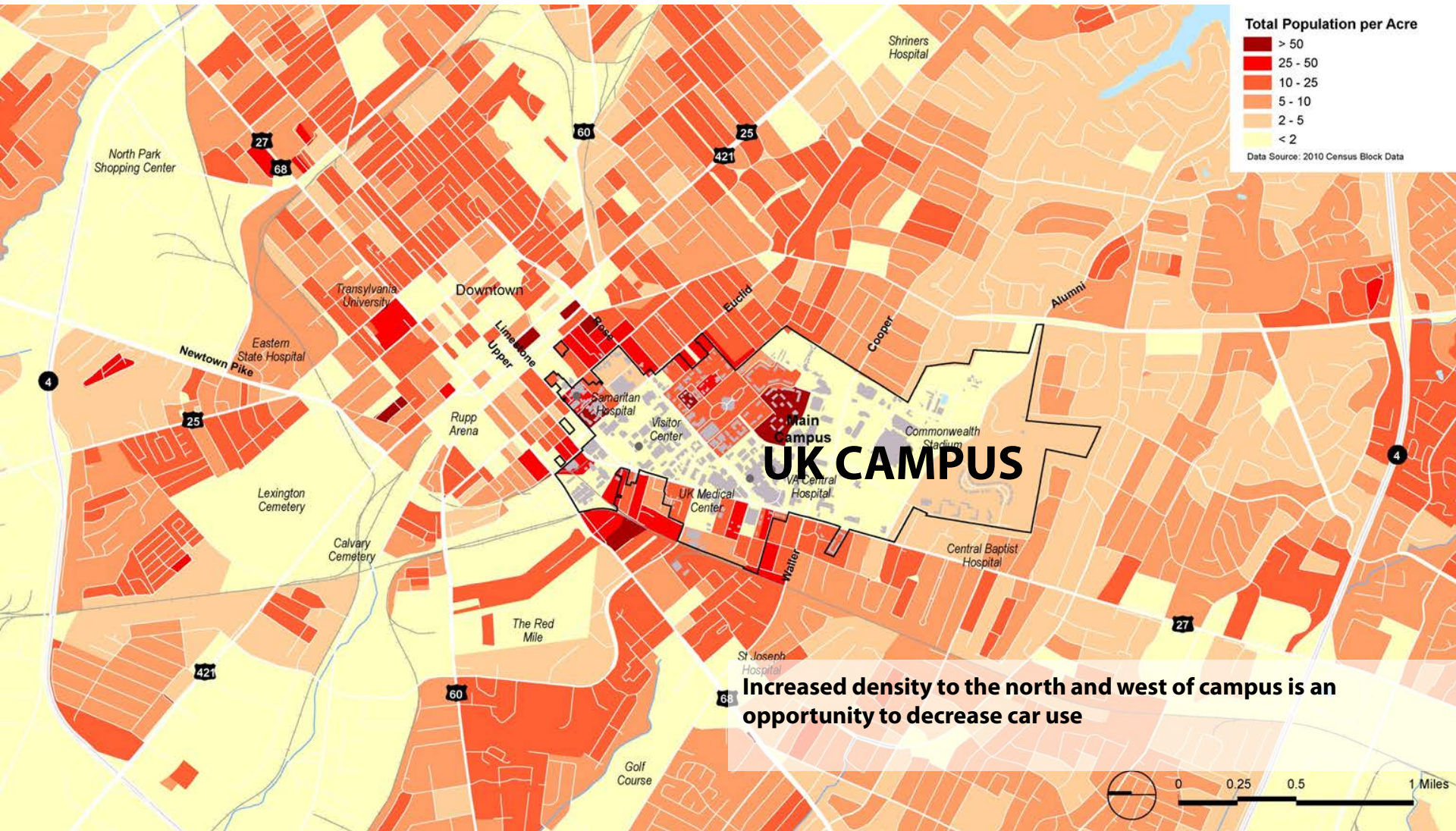


**Lack of commercial near campus activity centers compartmentalizes campus use**





# Population Density



# TAKEAWAYS

- Lack of **clarity around UK's acquisition boundary** is a concern for residents and businesses along UK's campus edges
- **Neighborhood issues vary** according to the percentage and character of student housing
- Rapid **neighborhood change and destabilization** has been an issue
- Neighborhoods are concerned about **rising student enrollment** and potential for further change.
- Campus **parking in neighborhoods** is a frequent concern
- Near-campus **retail is lagging** despite student buying power
- There may be **opportunities to collaborate with LFUCG** on commercial development and code enforcement issues
- There may be opportunities to **build commercial corridor development**, in line with U3 Ventures' recommendations



# CIVIC STRUCTURE

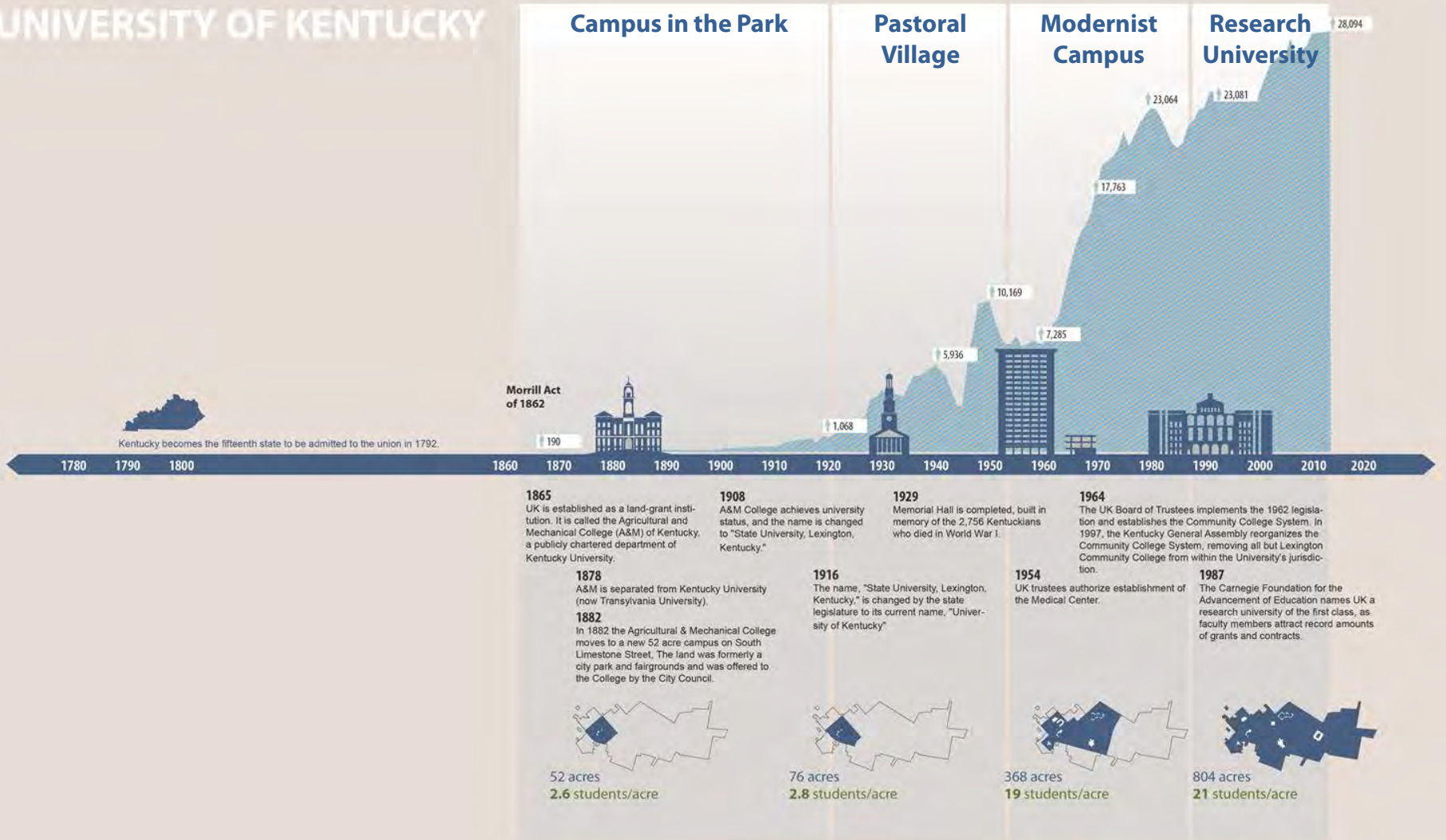
Campus History

Landscape Structure Plan

Land Use Plan

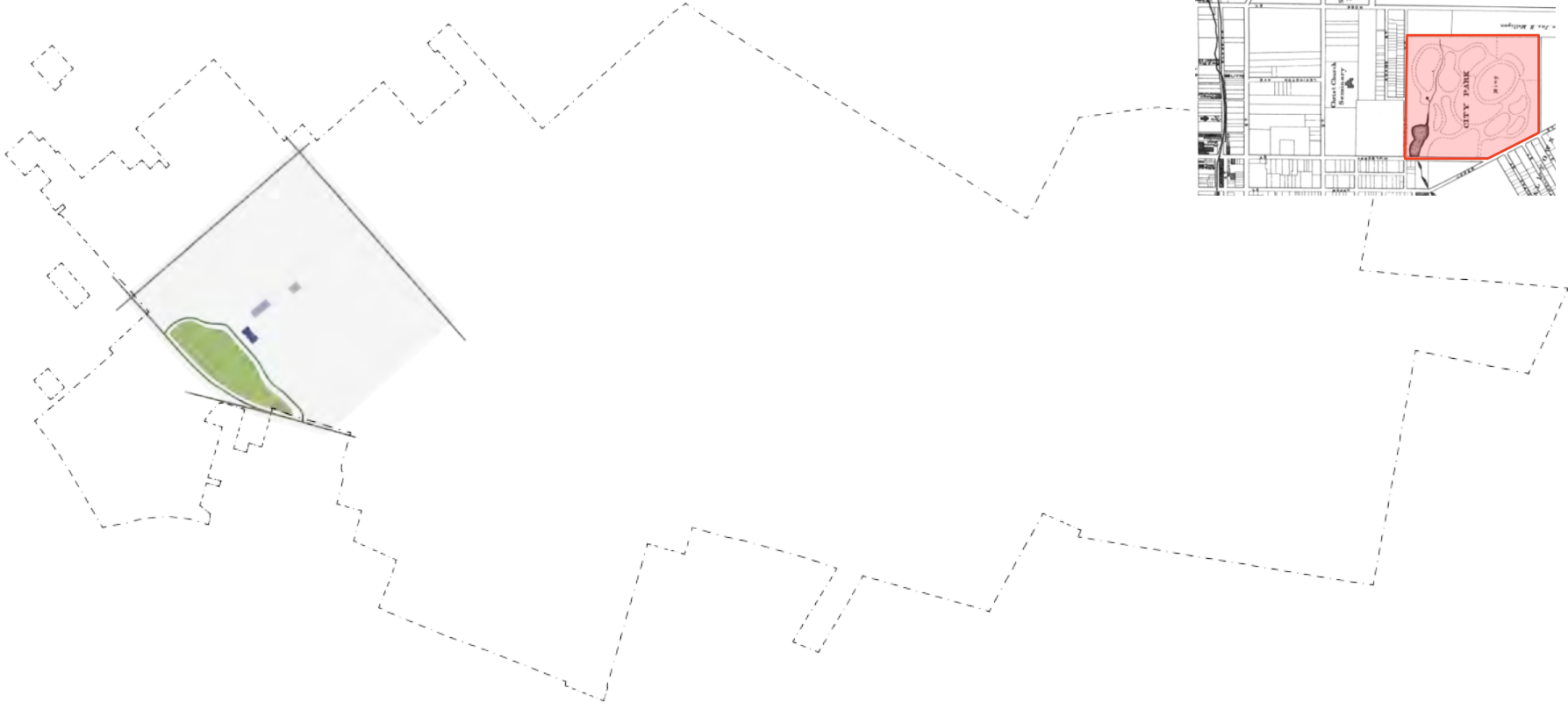
# CAMPUS HISTORY

# UNIVERSITY OF KENTUCKY



# 1882 Campus History

## First Three Buildings



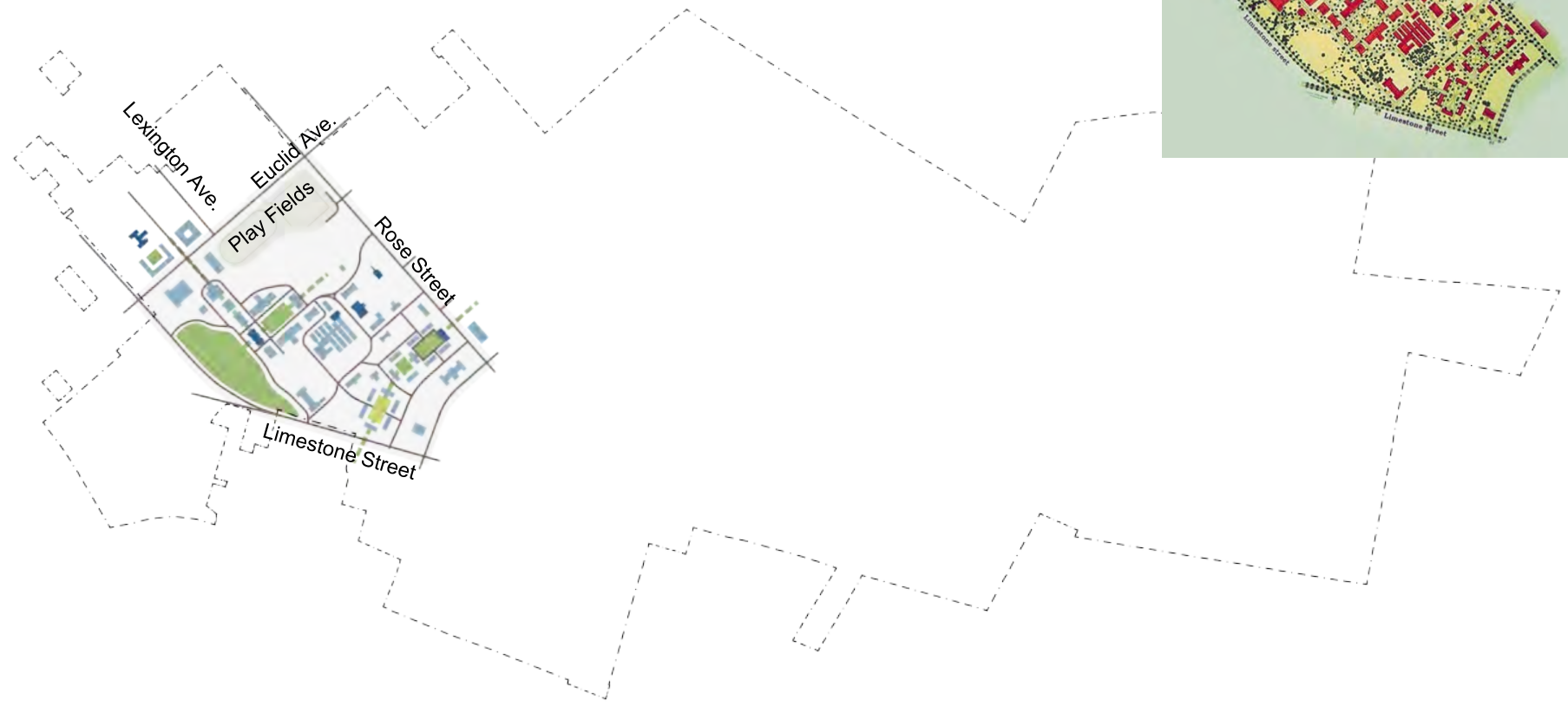
- Present Boundary
- Boundary of the plan
- Proposed Building Never Built
- Proposed Building Built
- Open Space
- Road

**On February 15, 1882, A&M College moves to its new campus composed of three buildings.**

- **Administration Building (College building) 1882-present**
- **White Hall (Boys' dormitory) 1882-1967**
- **President's Home 1881-1967**

# 1919 Campus History

## Olmsted Plan

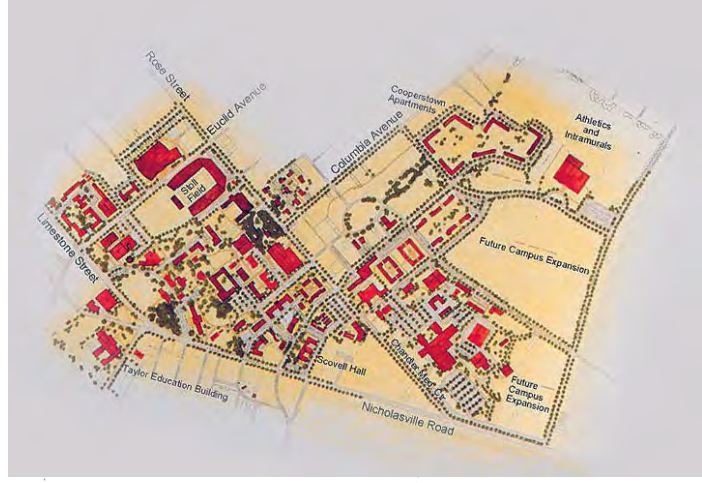
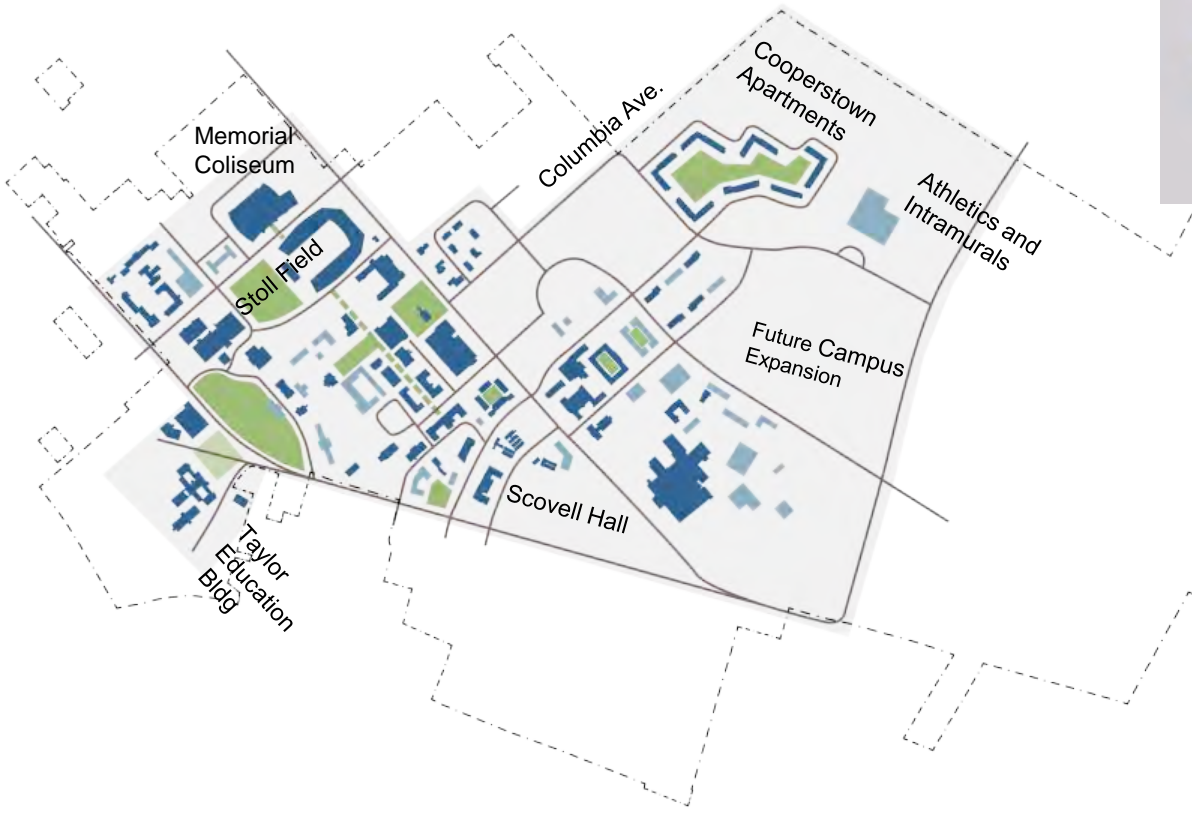


- Present Boundary
- Boundary of the plan
- Proposed Building Never Built
- Proposed Building Built
- Open Space
- Road
- Pedestrian Axis
- Sports Field

**The Olmsted Plan included a romantic landscape plan and a series of formal quadrangles. The plan created the ceremonial front of the Administration Building and established a connection to downtown Lexington.**

# 1958 Campus History

## Hare and Hare Master Plan



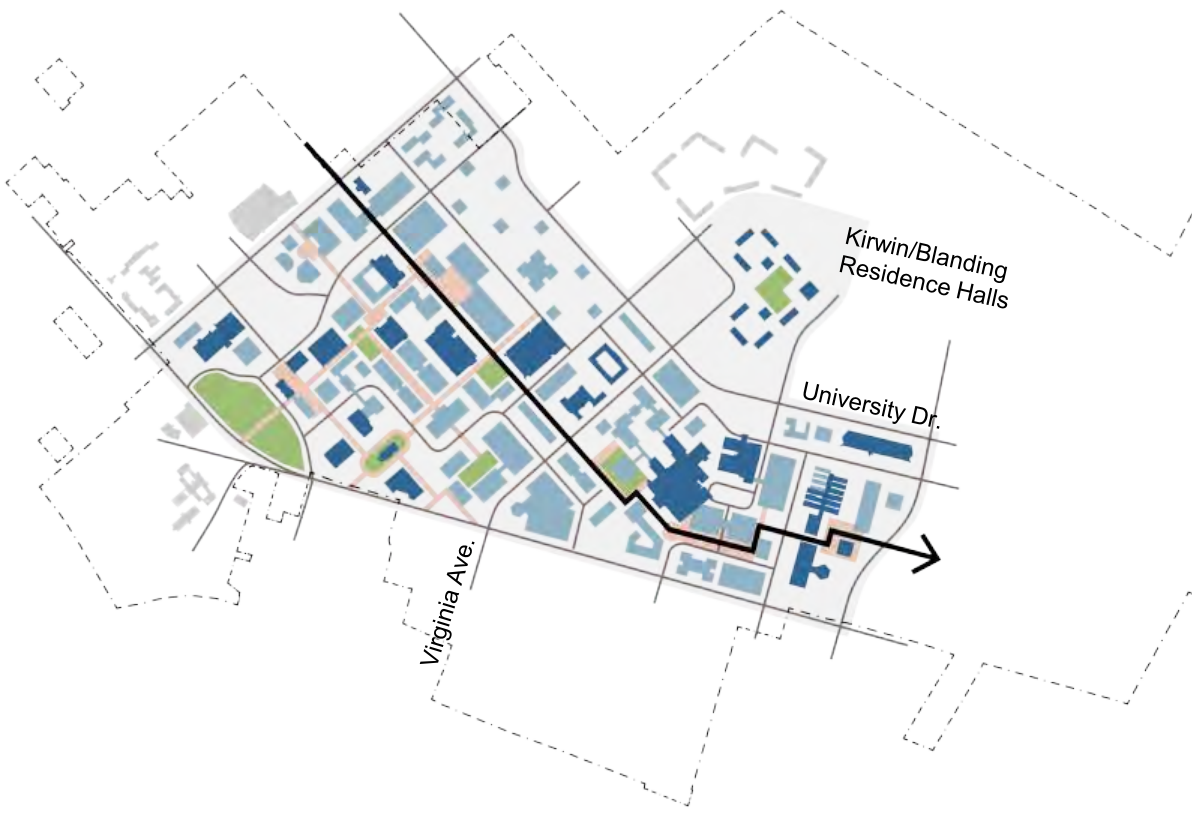
- Present Boundary
- Boundary of the plan
- Proposed Building Never Built
- Proposed Building Built
- Open Space
- Road
- Pedestrian Axis
- Sports Field







**This plan showed the development of the medical center and the growth on south campus. It provided for an invasive road network within the core of the campus and several surface parking lots.**



# 1965 Campus History

## Crane and Gorwic Plan

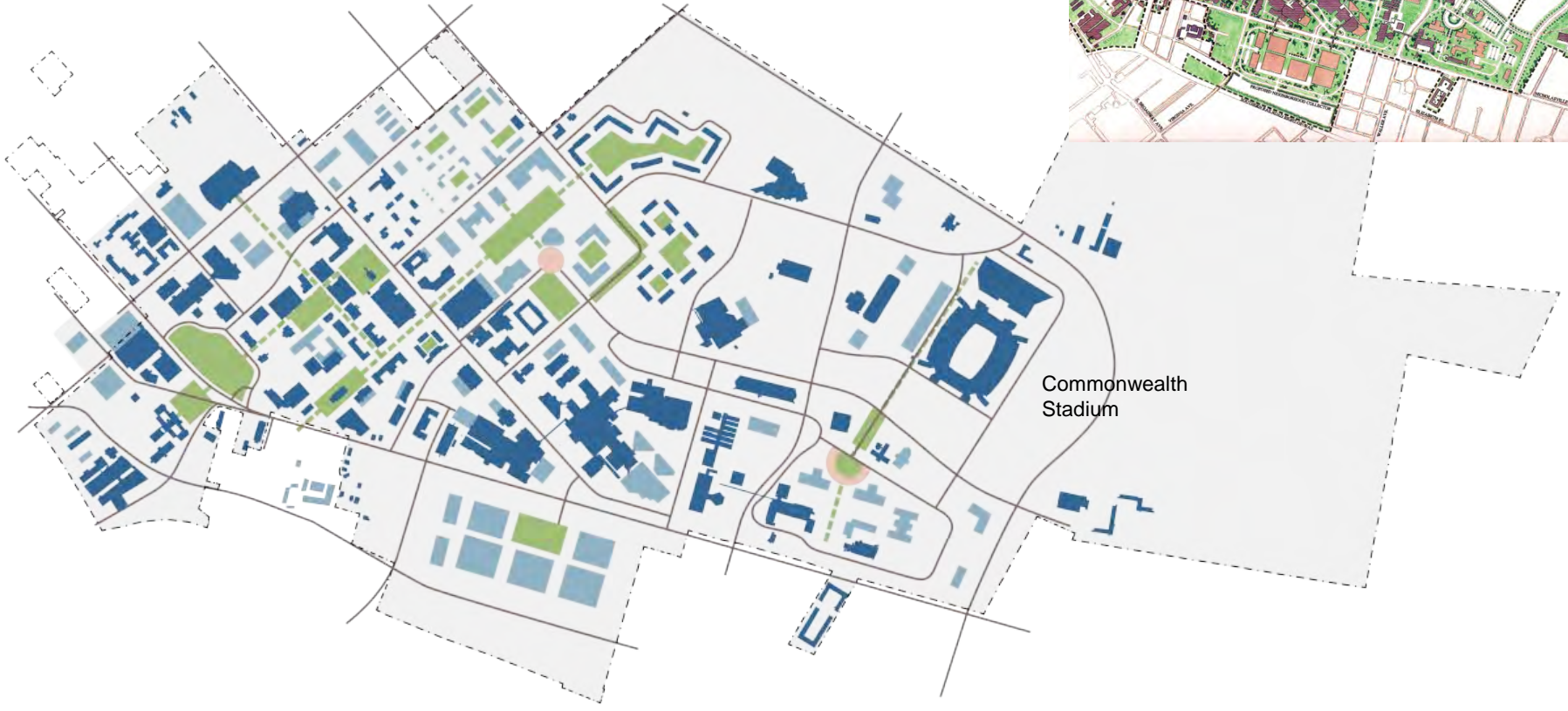


-  Present Boundary
-  Boundary of the plan
-  Proposed Building Never Built
-  Proposed Building Built
-  Open Space
-  Road
-  Pedestrian
-  Plazas
-  Main Axis
-  Existing Building

**This high-density development plan separated the vehicular and pedestrian circulation and proposed closing Rose Street. A network of pedestrian plazas and pedestrian paths connected this urban campus.**

# 1991 Campus History

Hansen, Lind and Meyer  
1991 Physical Development Plan

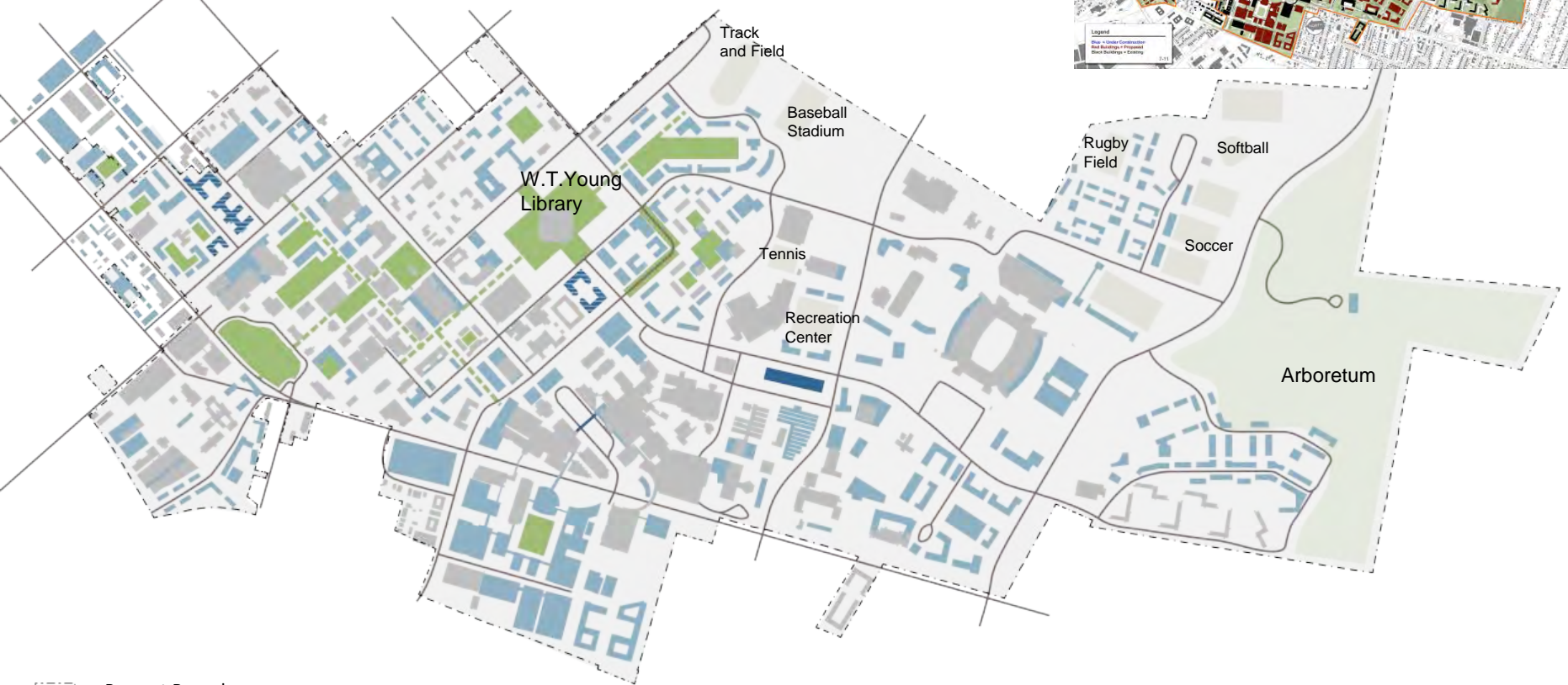
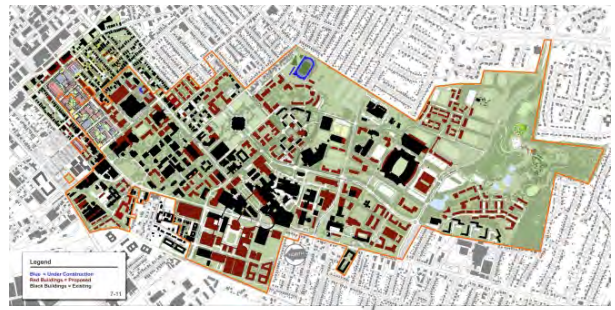


- Present Boundary
- Boundary of the plan
- Proposed Bldg Never Built
- Proposed Bldg Built
- Open Space
- Road
- Pedestrian Axis
- Plazas

**This plan developed a series of zones that divided the campus by use. It also accommodated the growth for the medical center across Limestone Street and the expansion of the academic core across Rose Street.**

# 2002 Campus History

## Ayers Saint Gross Physical Development Campus Plan 2050



- Present Boundary
- Boundary of the plan
- Proposed ASG Bldg
- Proposed ASG Bldg Built
- Open Space
- Road
- Pedestrian Axis
- Existing Bldg
- Proposed ASG Site Built/Will Build
- Sports Field
- Arboretum

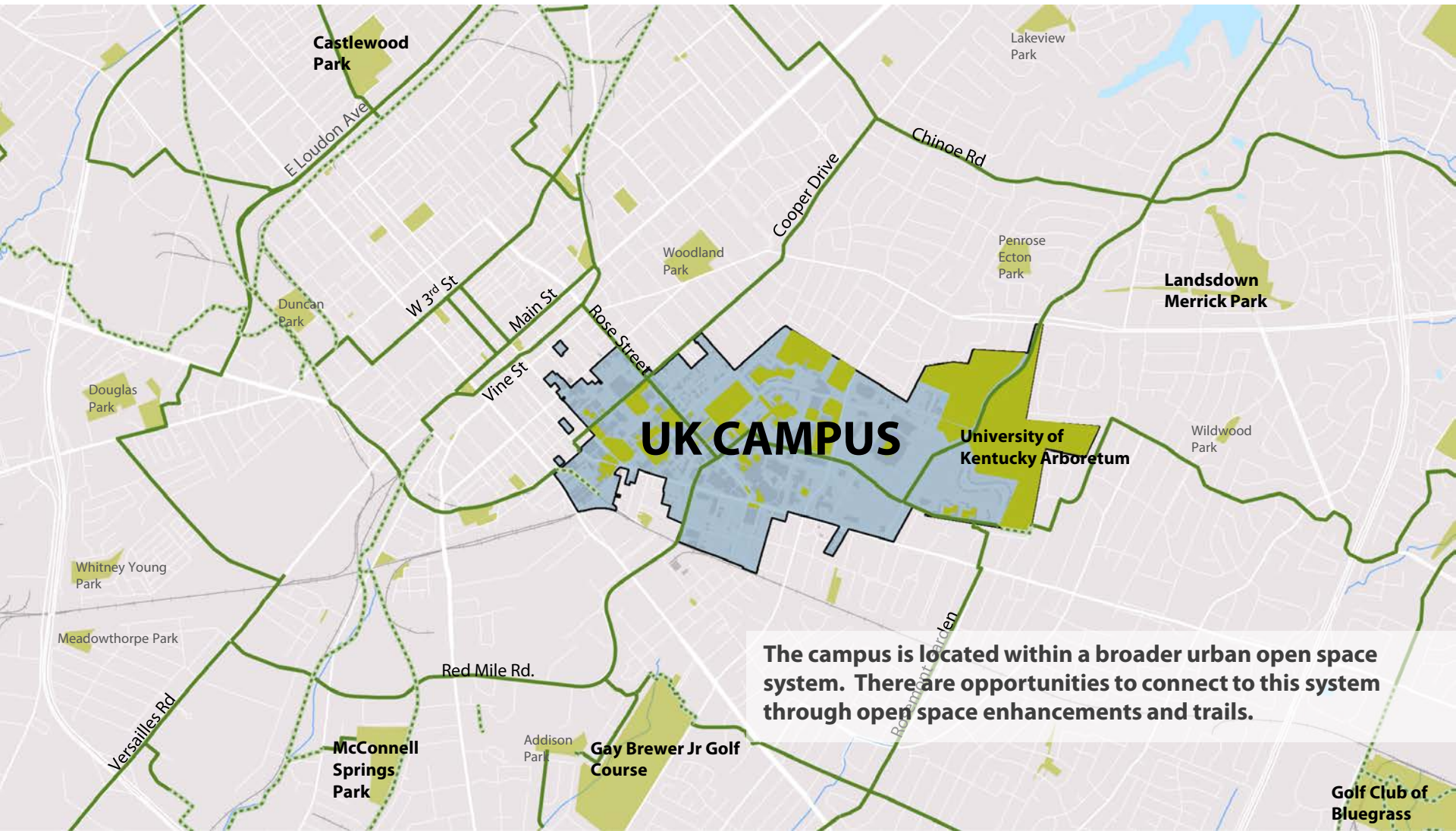
**The plan is intended to provide a flexible framework for future development. If enacted, the campus plan provides a method for improving the campus environment while accommodating significant growth in population, facilities and productivity for the next 50 years.**

# TAKEAWAYS

- UK's campus planning illustrates a long history of **landscape as integral to the identity of the university**
- A **pedestrian-friendly campus** has always been a priority in the past master plans

**LANDSCAPE  
STRUCTURE  
PLAN**

# Context Open Space Network



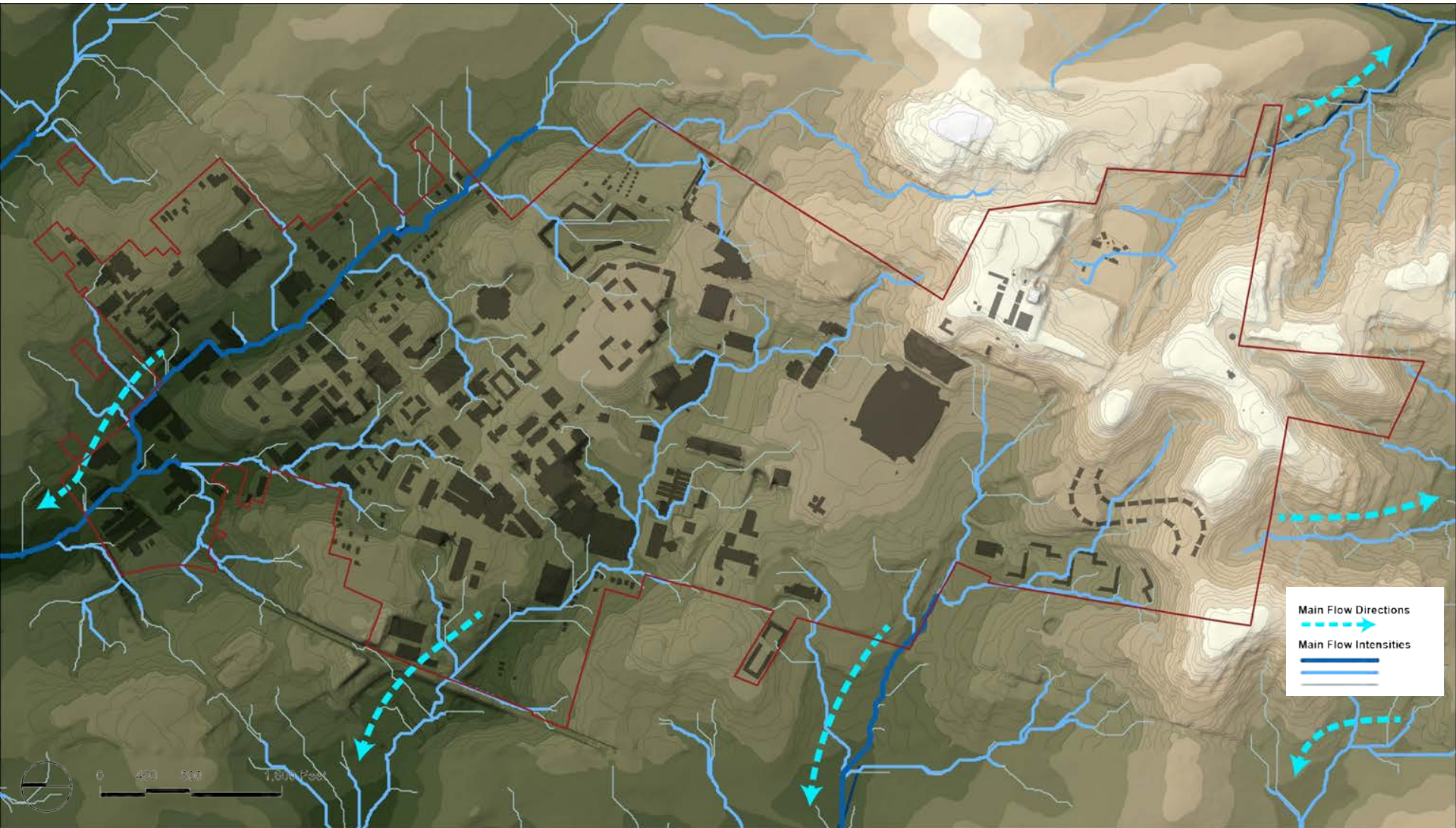
- On Road Trail Network
- - - Shared Use Trail Network
- Open Space
- University Boundary

# Topography with Campus Buildings



There is much topographical variation across the campus, which impacts building placement, pedestrian circulation and building access.

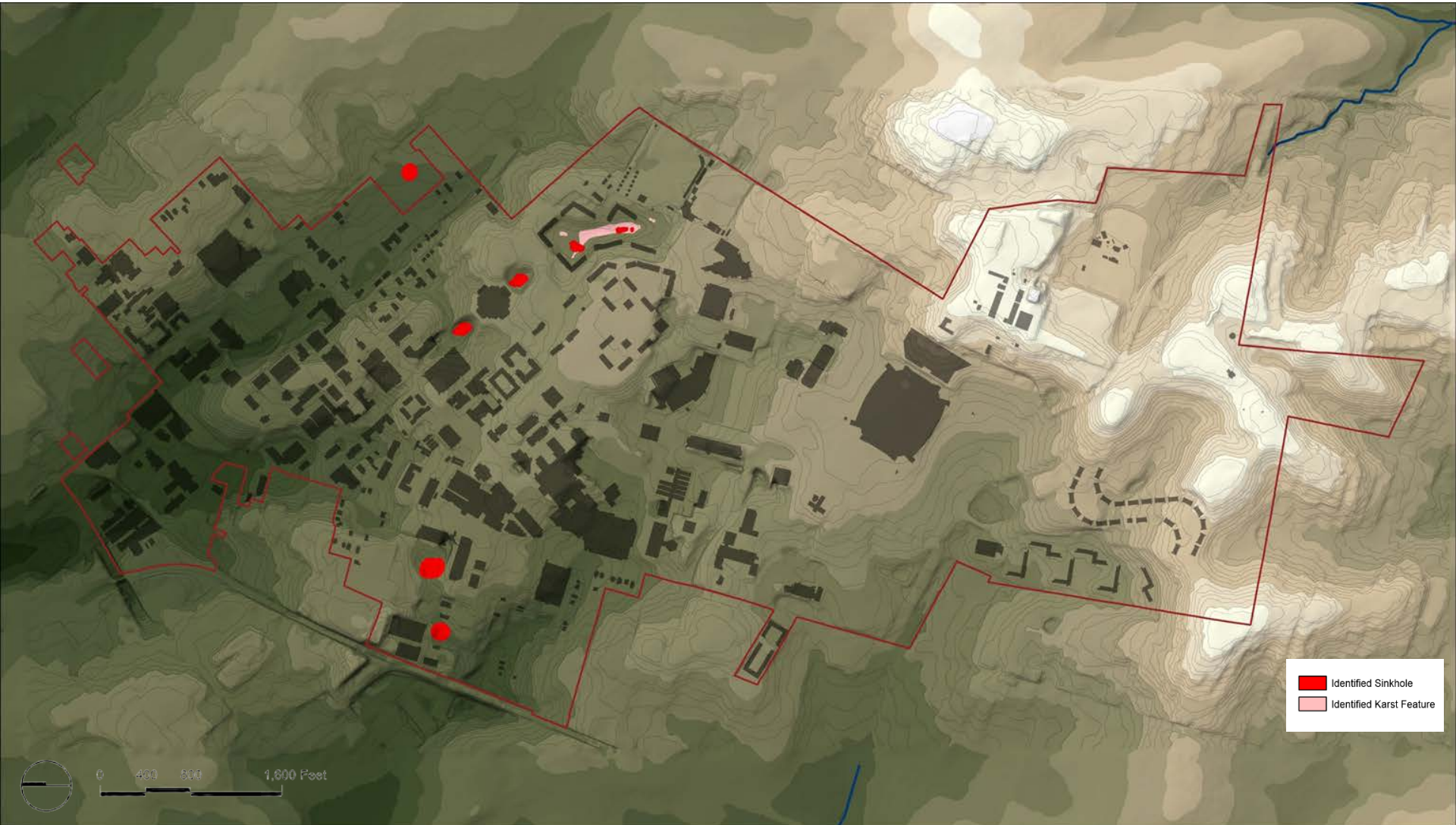
# Hydrology



**There are several areas of the campus that are impacted by hydrology. In particular, the areas adjacent to Funkhouser and Alumni Drive are subject to flooding.**



# Karst Geology Sink holes



Identified Sinkhole  
Identified Karst Feature

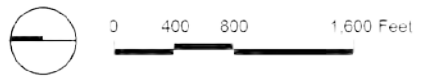
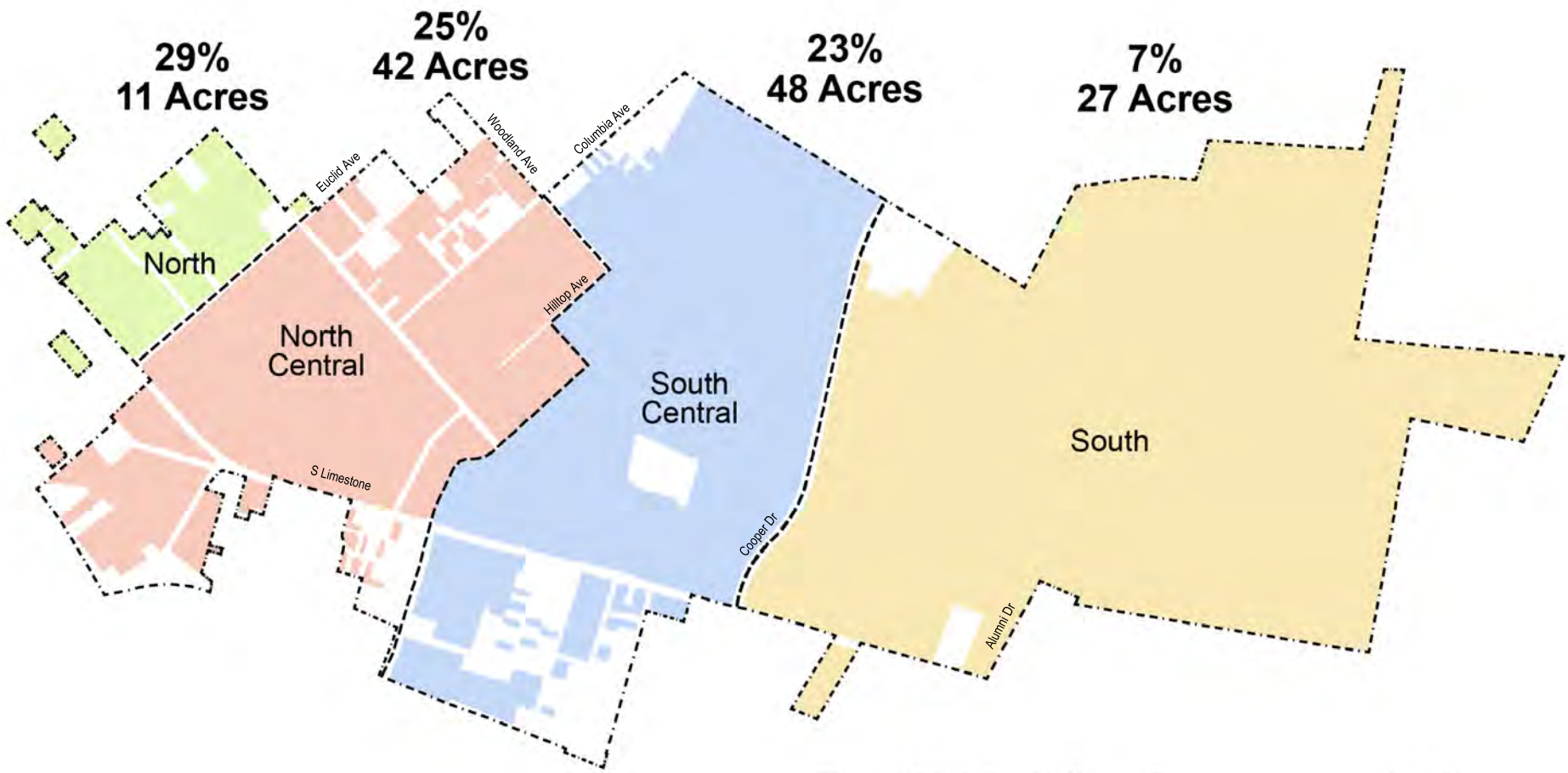
**Four sinkholes have been identified on campus near the William T Young Library and Cooperstown Dorms. Areas above the sinkholes cannot be developed and will be incorporated into the proposed landscape framework.**

# Slopes



**A majority of the campus has minimal sloping, however there are areas in the campus core that have dramatic topography, with slopes above 10%, which impacts building placement, access and pedestrian circulation.**

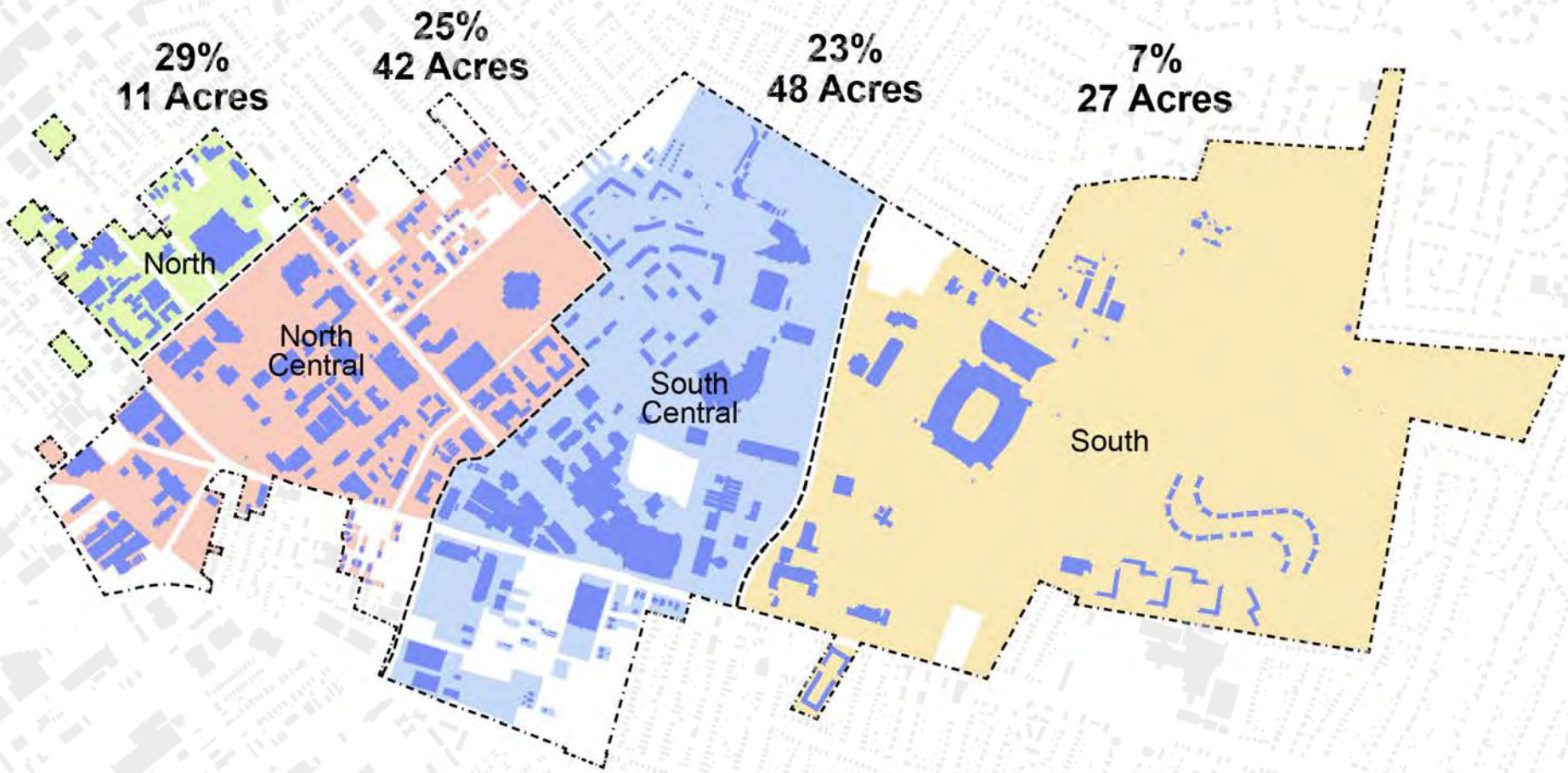
# Zones



**Total UK Building Coverage = 16%  
128 Acres**

**We have defined four campus zones to assist in our analysis. The zones are defined by their density, character and relationship to the campus core.**

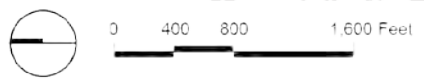
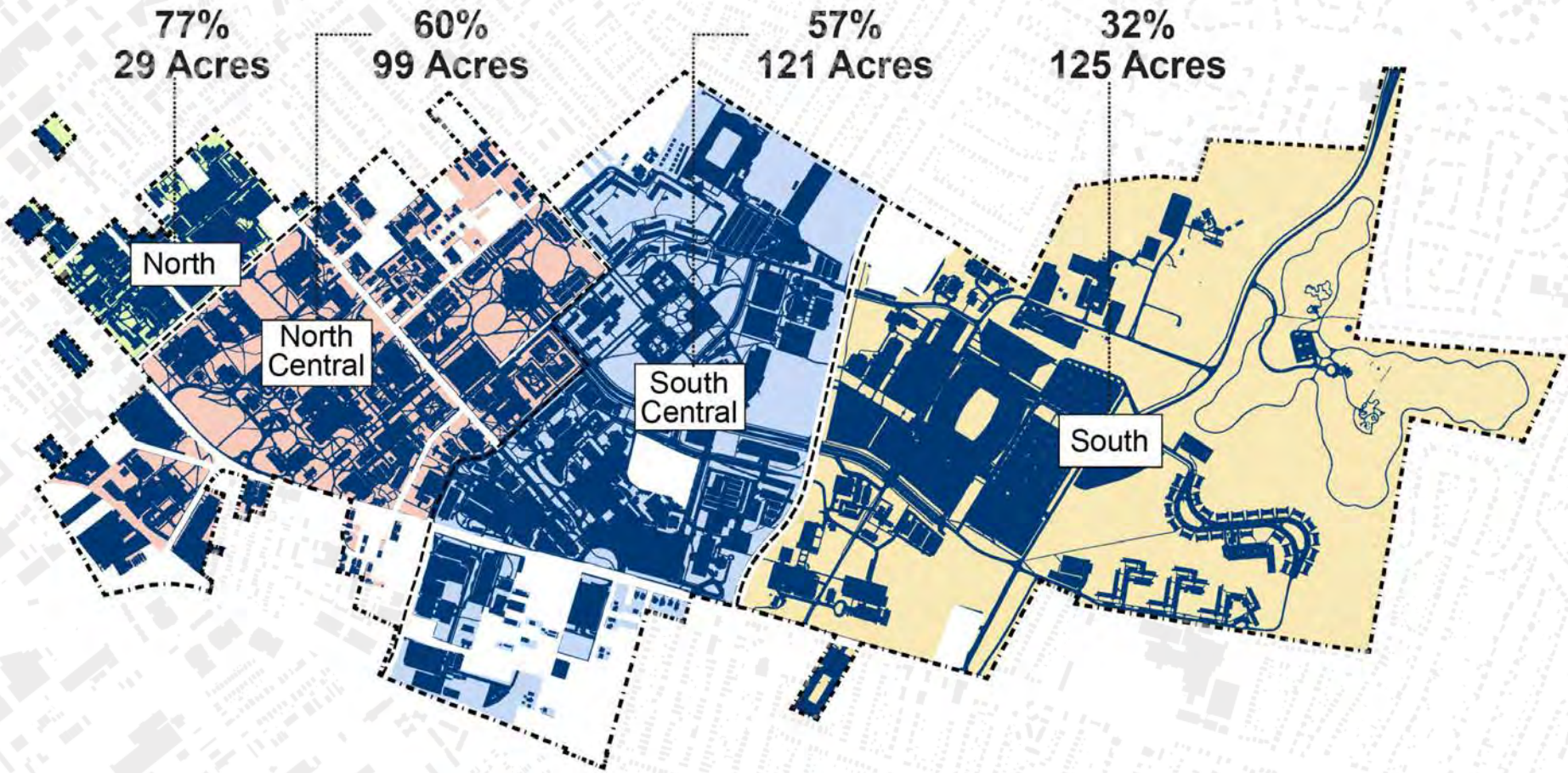
# Campus Building Coverage



**Total UK Building Coverage = 16%  
128 Acres**

The largest zone on campus, South Campus, remains relatively undeveloped

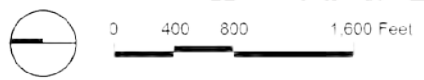
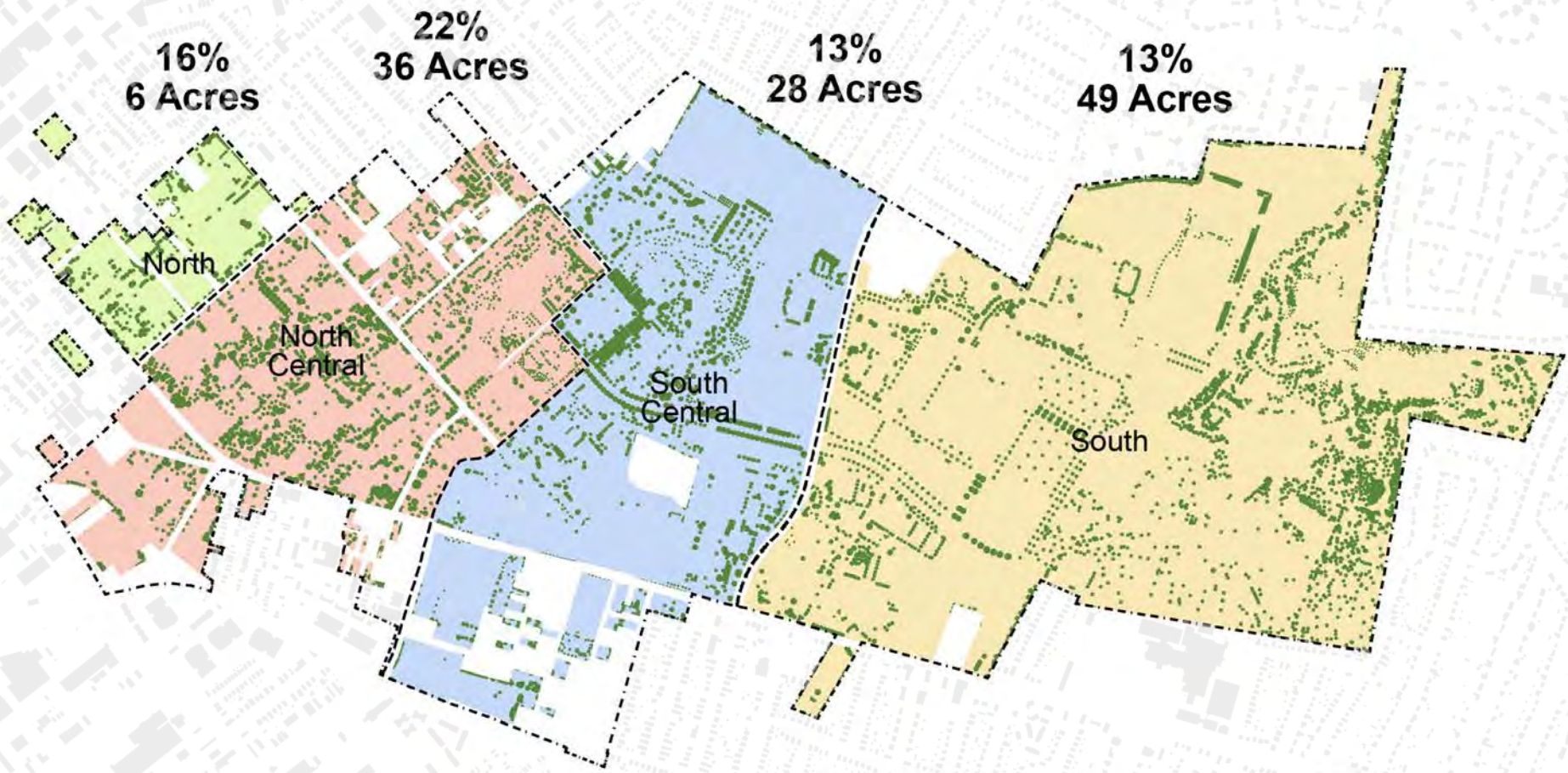
# Impervious Surfaces



**Total Impervious Surface Area = 46% (374 acres)**

The overall campus has a very high percentage of impervious surface (30%).

# Campus Tree Coverage



**Total UK Tree Coverage = 15%  
119 Acres**

The campus tree coverage is currently lacking in structure, but will be critical in defining the new campus framework while also creating shade for comfortable outdoor spaces.

# Existing Landscape Typologies



- |  |                     |   |                   |
|--|---------------------|---|-------------------|
|  | Formal Spaces       |  | Pedestrian        |
|  | Special Corridors   |  | Gathering Places  |
|  | Streetscape         |  | Parking / Service |
|  | Quads               |  | Arboretum         |
|  | Courtyards          |  | CAT Path          |
|  | Sports & Recreation |   |                   |

**Formal Spaces and Gathering Spaces are iconic landscapes and are very successful in creating campus character. Other typologies could be enhanced to create a stronger overall campus framework and more successful outdoor spaces.**

# Memorial Green





# Memorial Amphitheater



# Learning Corridor



Allee





# Whitehall Classroom Building Plan

# Anderson Plaza



# TAKEAWAYS

- **Topography** contributes to campus character, but also creates challenges
- Improvements to campus landscapes will advance the sustainability of **stormwater management** and drainage systems
- The campus **landscape** would benefit from greater **cohesion and overall connectivity**
- There are opportunities to reinforce existing spaces in order to **enhance campus character and identity**
- Stakeholders recognize the **potential of the landscape to enhance a social and informal learning environment**

# LAND USE PLAN

# Land Use Precincts

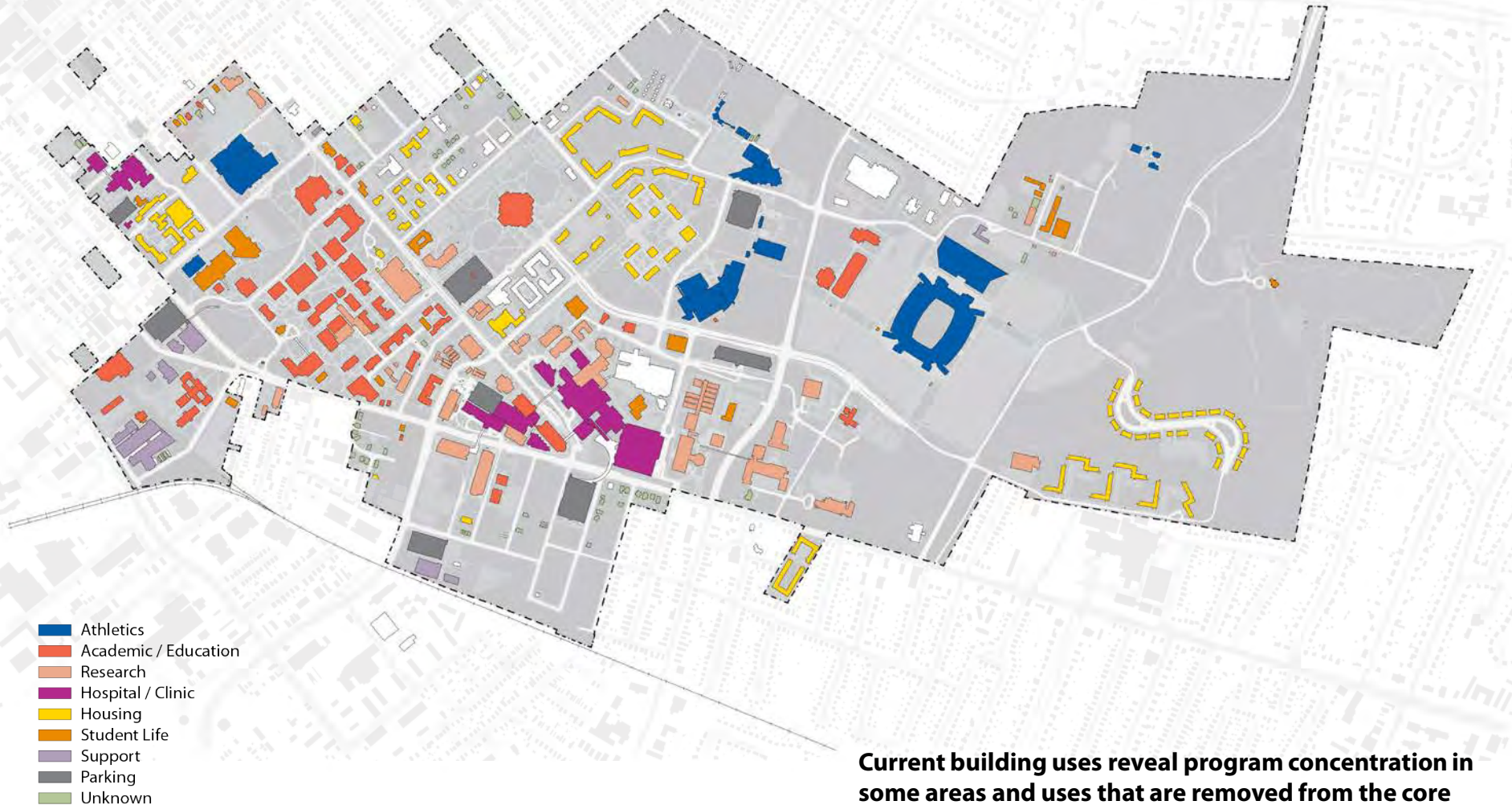
- Medical
- Academic
- Residential
- Community
- Agriculture
- Sports/Recreation
- Community and Housing
- Facility
- Research

Existing land use concentrations reveal general organization of the campus





# Building Use by Type



**Current building uses reveal program concentration in some areas and uses that are removed from the core**

Data Sources:  
Original Map Created by Facilities Management (REV: 20120926)

# TAKEAWAYS

- Future building decisions should be made with an understanding of the **surrounding land use context and adjacencies** so that individual projects improve cohesion of the entire campus
- A more deliberate **land use strategy** will ensure that current districts have capacity to expand without interfering with overall campus function



# MOBILITY

Pedestrian Circulation

Bicycle Network

Vehicular Circulation

Transit

Parking

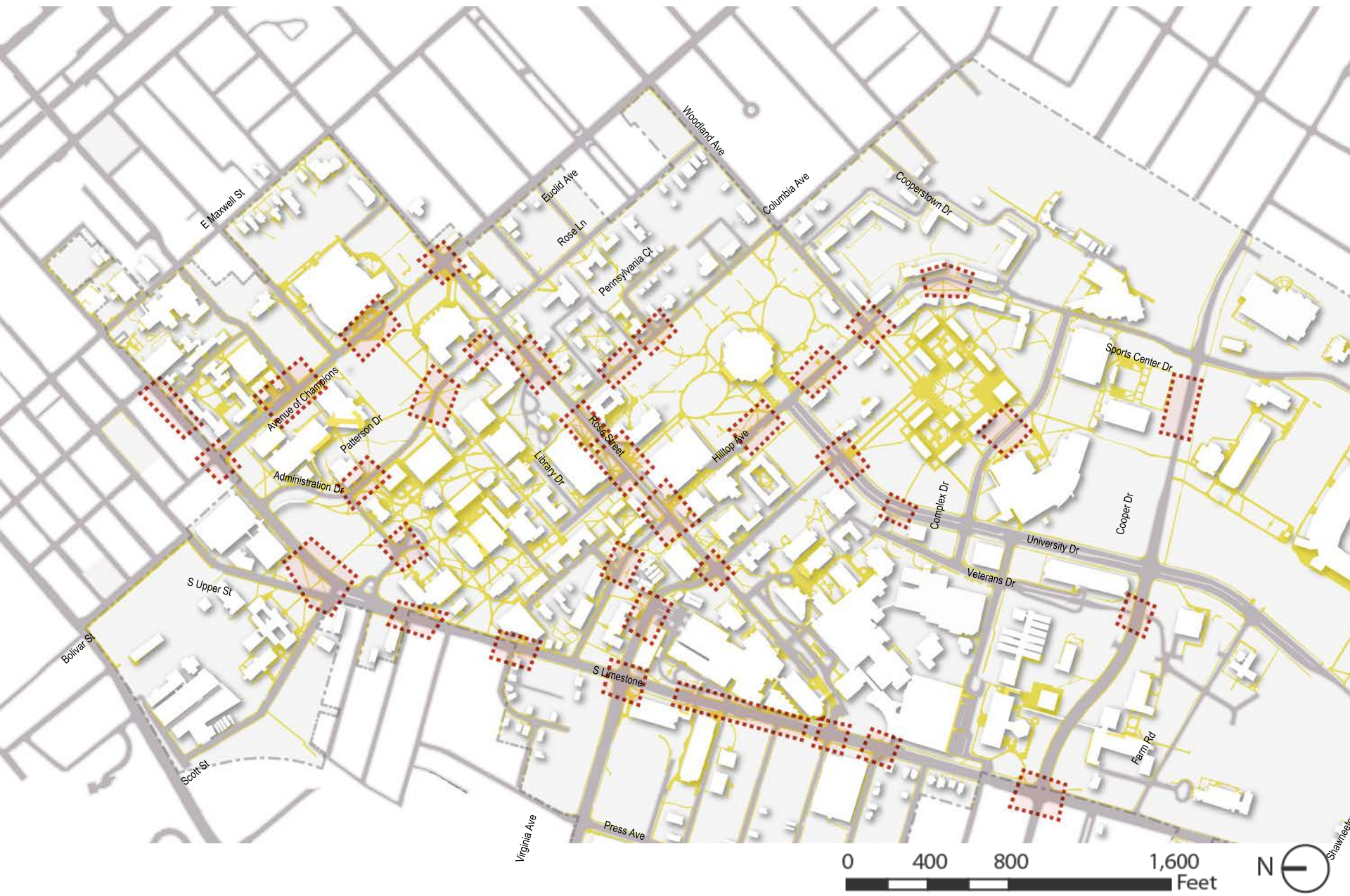
Issues and Opportunities

# Pedestrian Circulation



- Major Pedestrian
- Major Pedestrian Crossing Road
- Secondary Pedestrian
- Pedestrian Path

# Pedestrian-Vehicular Conflicts



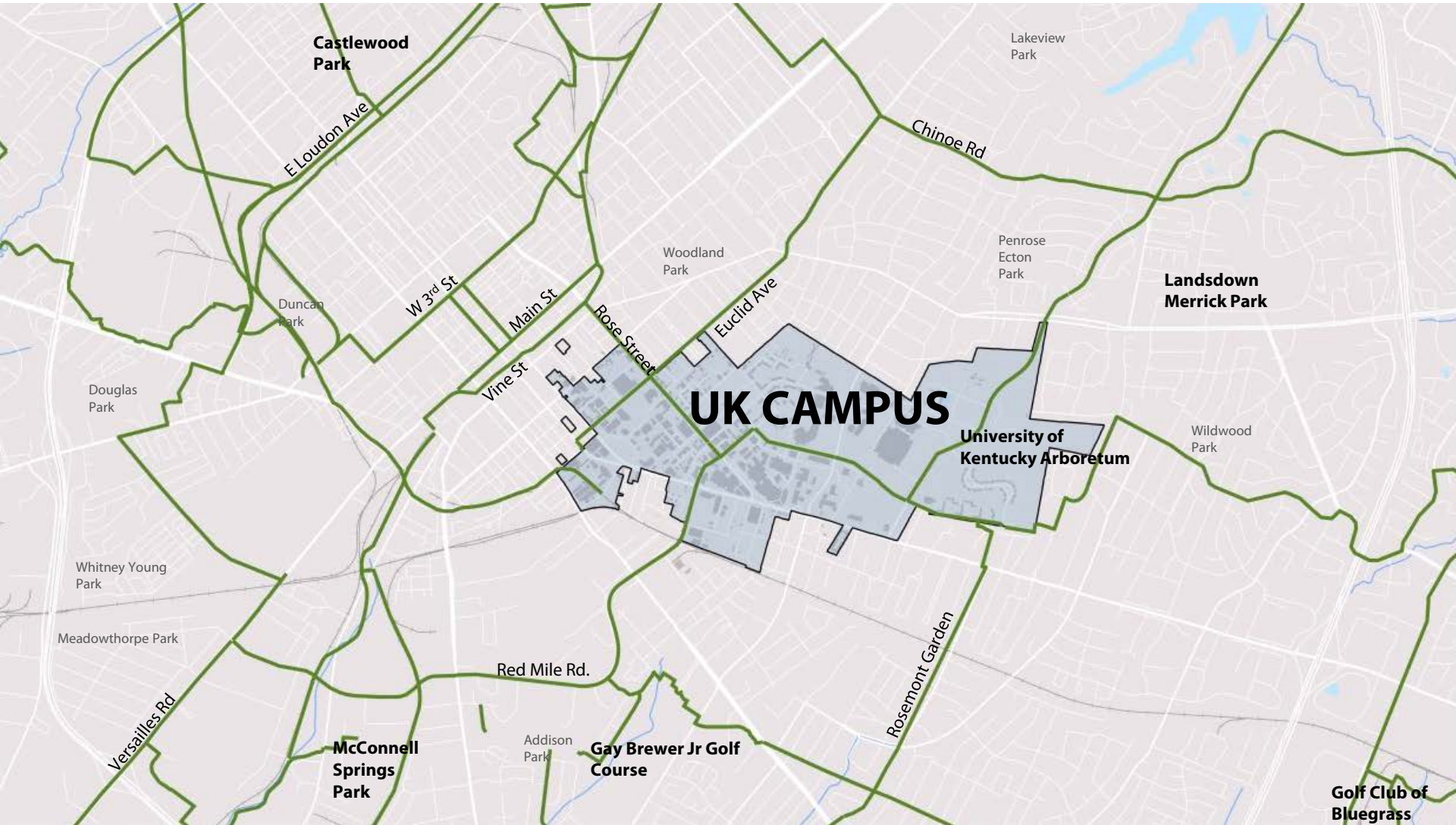
# Bicycle Network



Data Sources:  
Original Map Created by the UK Campus (REV: 20111031)

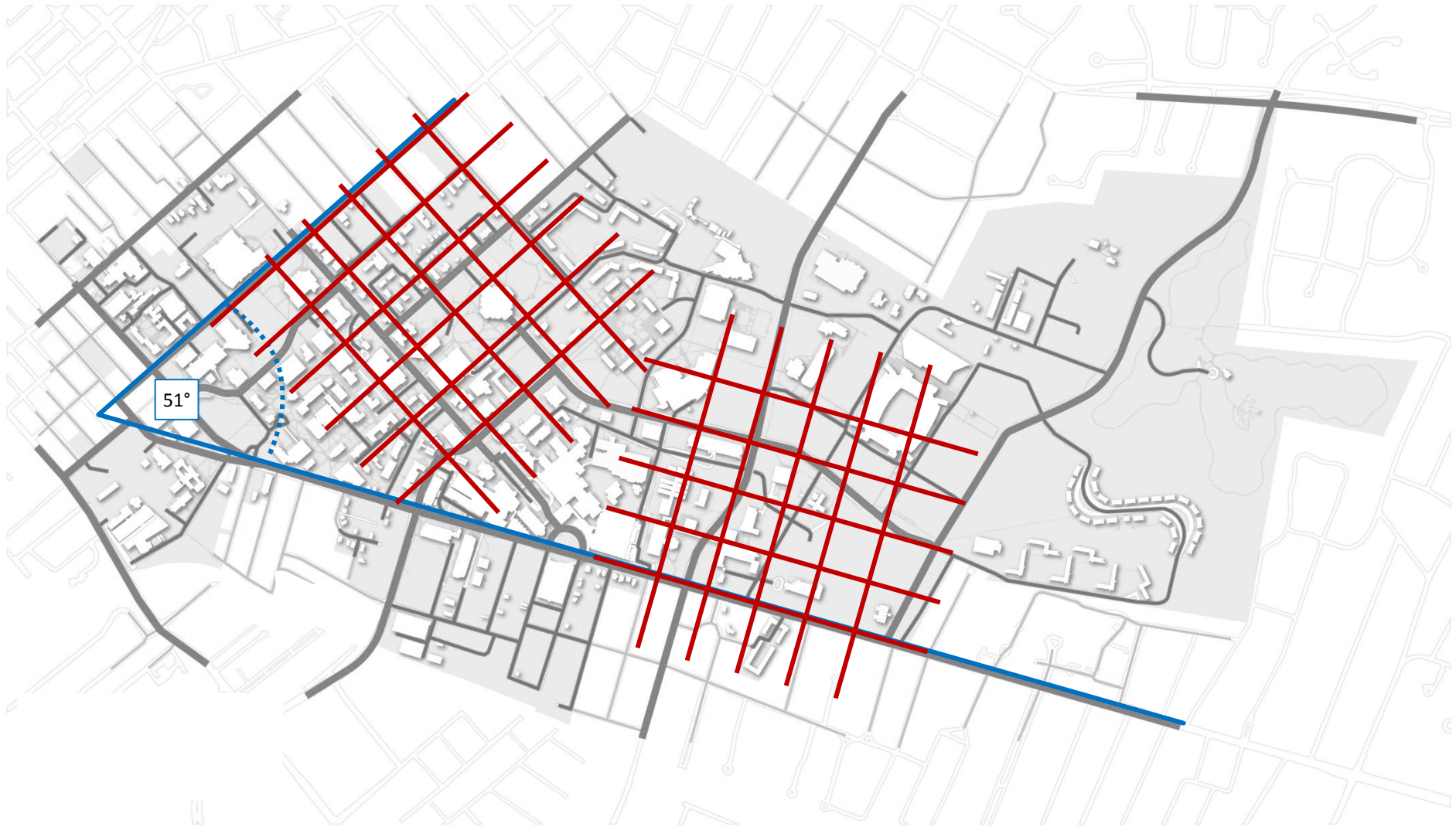


# Regional Bicycle Network



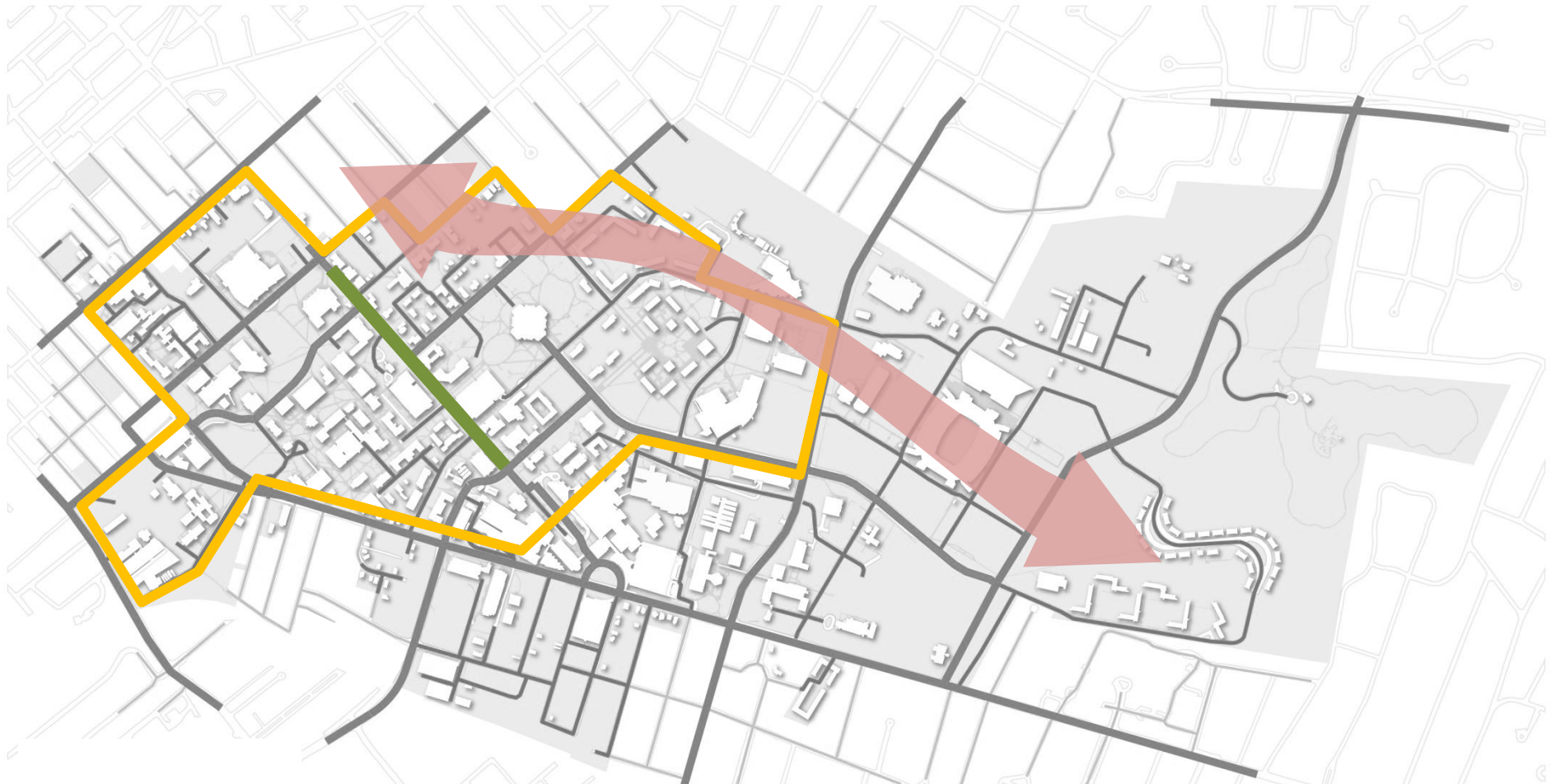
— City Bicycle Network    □ University Boundary

# Clashing grids





# Circulation Issues



## Goals

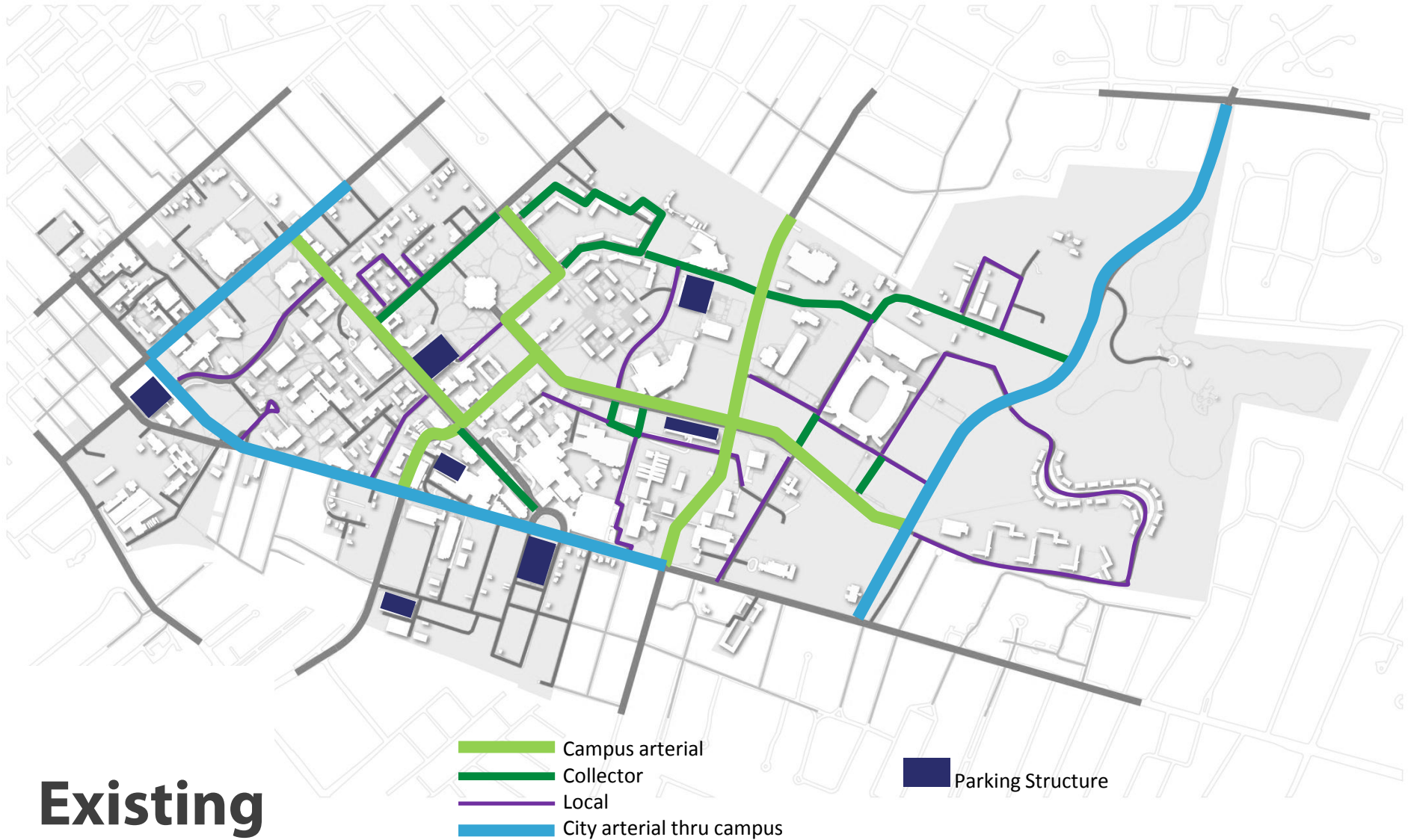
- Reduce vehicular traffic on Rose St.
- Pedestrianize campus core
- Improve cross-campus access

## Criteria

- Enable access across SE side of campus
- Without inducing regional traffic
- Negotiate around new housing
- Connect to streets that can handle the traffic



# Vehicular Circulation: street hierarchy

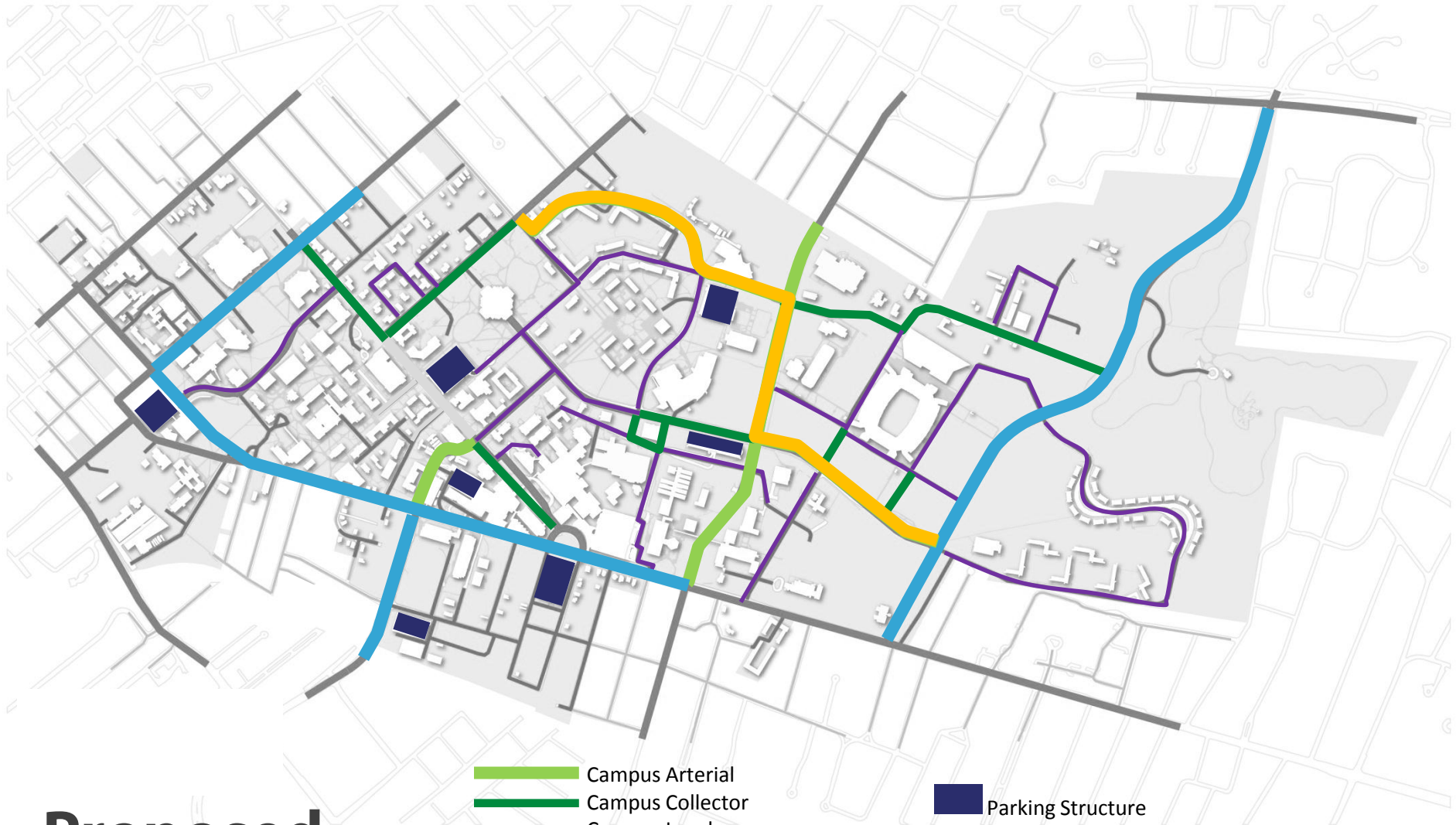


**Existing**

- Campus arterial
- Collector
- Local
- City arterial thru campus
- Parking Structure

Data Sources:  
Original Map Created by UK Campus (REV: 20110112)

# Vehicular Circulation: street hierarchy

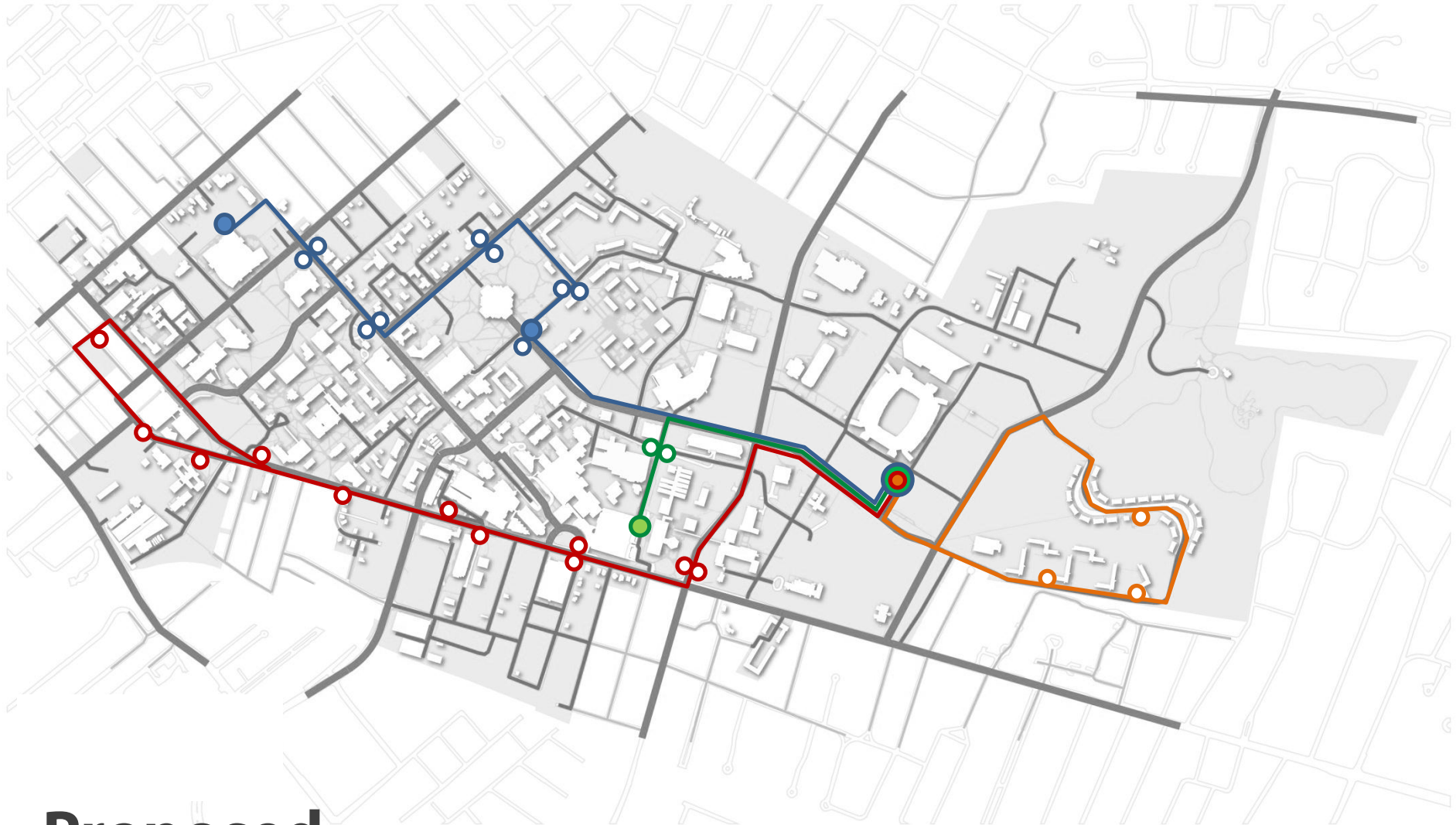


**Proposed**

- Campus Arterial
  - Campus Collector
  - Campus Local
  - City Arterial thru campus
  - New cross-campus connection
- Parking Structure

Data Sources:  
Original Map Created by UK Campus (REV: 20110112)

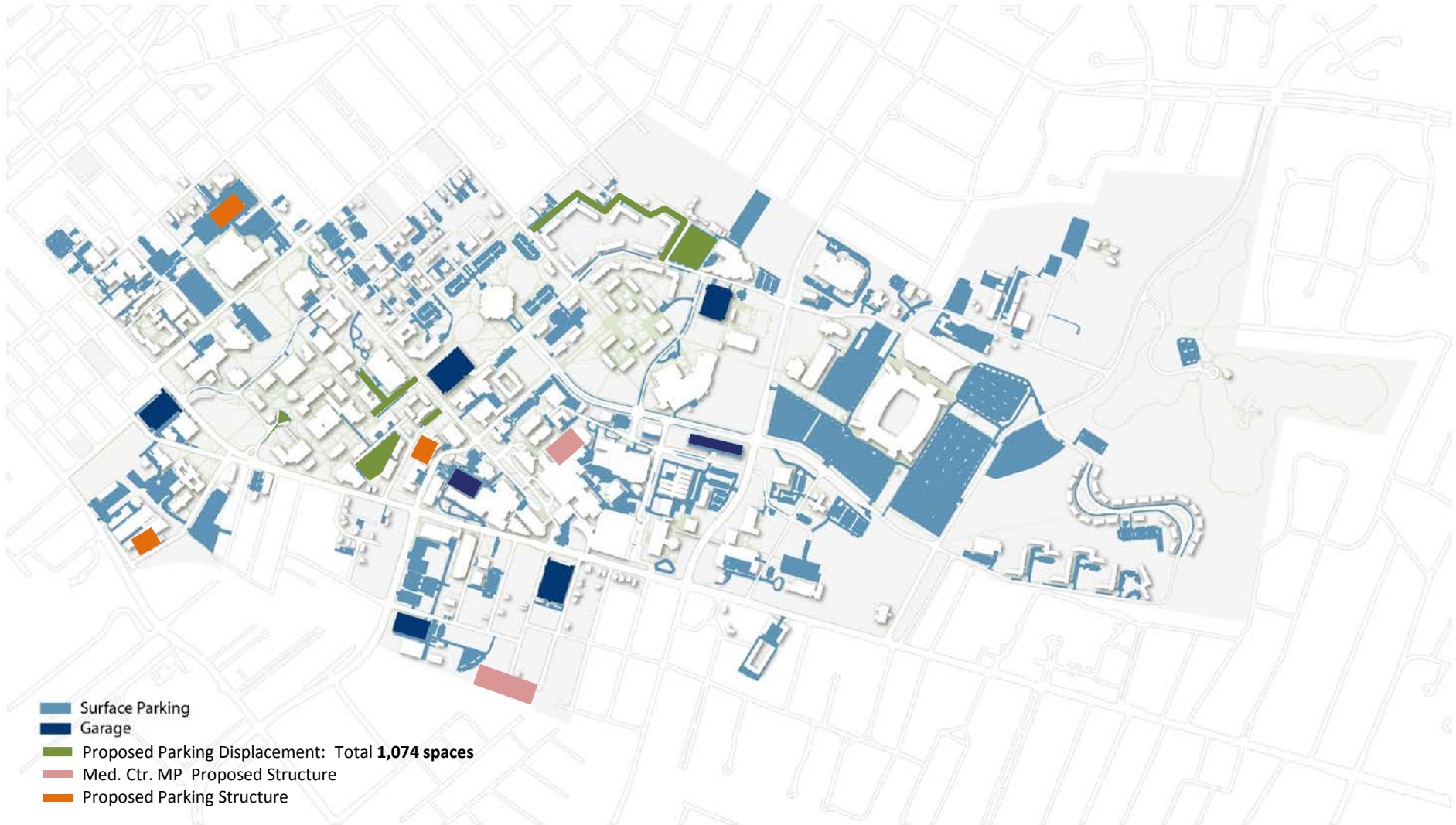
# University Shuttles



**Proposed**

○ Bus Stop

# Parking

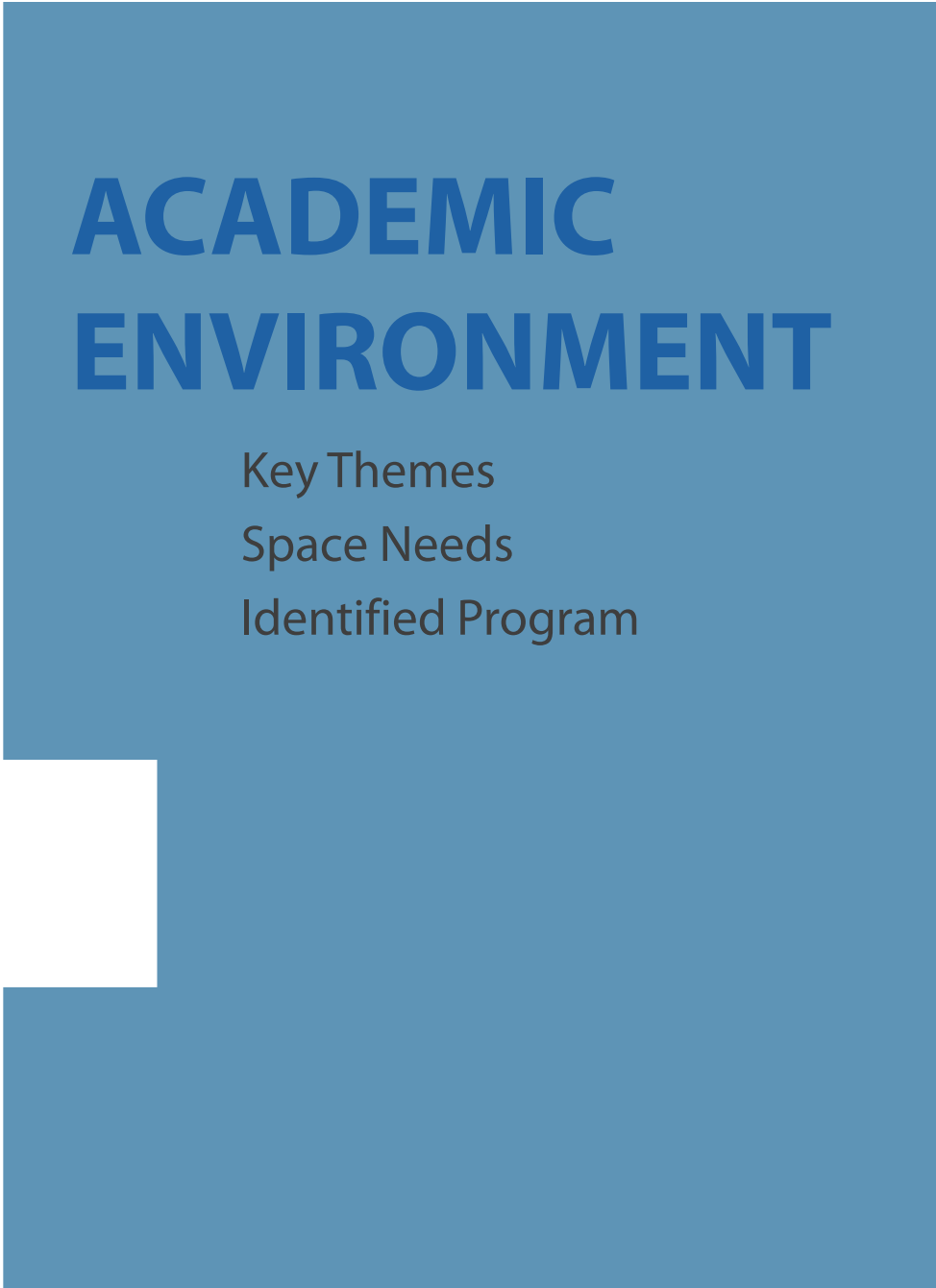


Data Sources:  
Original Map Created by UK Campus (REV: 20110112)



# TAKEAWAYS

- Heavy traffic on city streets creates **pedestrian safety** issues at key locations and limits effectiveness of current shuttle routes
- **Newtown Pike Extension** will create a new gateway to campus; regional access and new public school will draw traffic to the Upper/Limestone area
- Pedestrian routes aren't intuitive; **Rose St. is a barrier** between North and South Central
- Parking distribution leads to competition for convenient spaces near the academic core and to **parking on residential streets**; vehicles penetrating the campus detract from campus quality, and create conflicts with bicycles and pedestrians
- Parking, University Shuttle and Service Access can be better coordinated
- Accommodating additional **hospital** traffic is a priority



# ACADEMIC ENVIRONMENT

Key Themes  
Space Needs  
Identified Program

# Academic Department Meetings Held

College of Agriculture

College of Arts and Science

Gatton College of Business and Economics

College of Communications & Information Studies

College of Dentistry

College of Design

College of Education

College of Engineering

College of Fine Arts

College of Health Sciences

College of Law

College of Medicine

College of Nursing

College of Pharmacy

College of Public Health

College of Social Work

The Graduate School

Patterson School of Diplomacy and International Commerce

Martin School of Public Policy and Administration



# Key Themes

Most buildings require investment both for capital replacements (HVAC, water protection, upgrades) and to meet programmatic needs

Learning spaces require technology and equipment upgrades and flexibility to support new pedagogy

Instructional space supply does not fully align with current pedagogy; growth will generate greater demand for instructional space

Request for a large (300-500 seat) lecture hall as well as conference and meeting space

Additional office space will be needed to accommodate anticipated growth

Current space does not support inter-disciplinary collaboration; there is a need for spaces for students to meet, collaborate and 'connect' both within buildings and outdoors

There is potential to free up space in the campus core by moving some administrative uses off campus

# Facilities Condition



- Fair to Poor FCI > 0.10
- Good FCI 0.051 - 0.10
- Excellent FCI 0 - 0.05
- Unknown

**Facilities condition data reinforces stakeholder observations about needed capital investment**

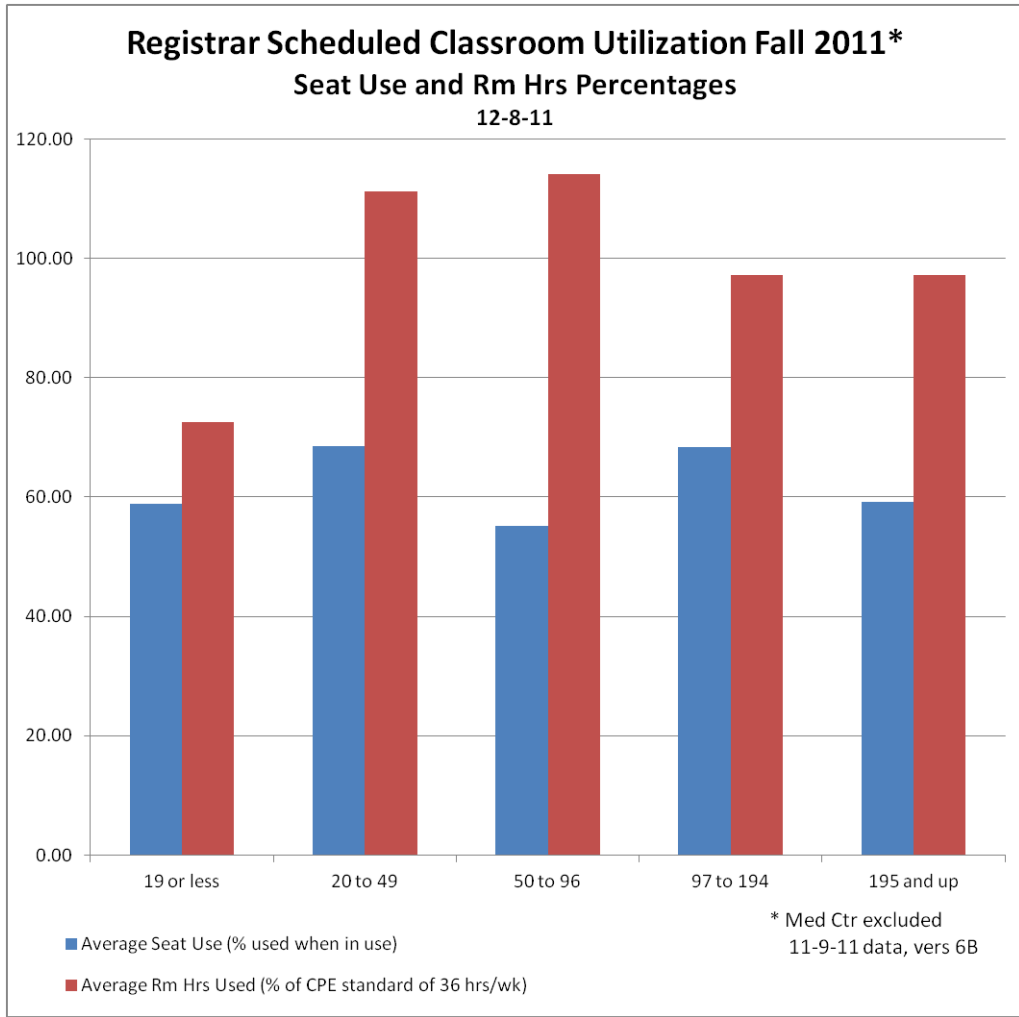
Data Sources:  
Original Map Created by UK  
Campus Physical Plant  
Division (REV: 20110203)

The Facilities Condition Index primarily reflects the age of the buildings. Tremendous effort and skill is put into the maintenance of all buildings.



# Classroom Utilization – Registrar Scheduled

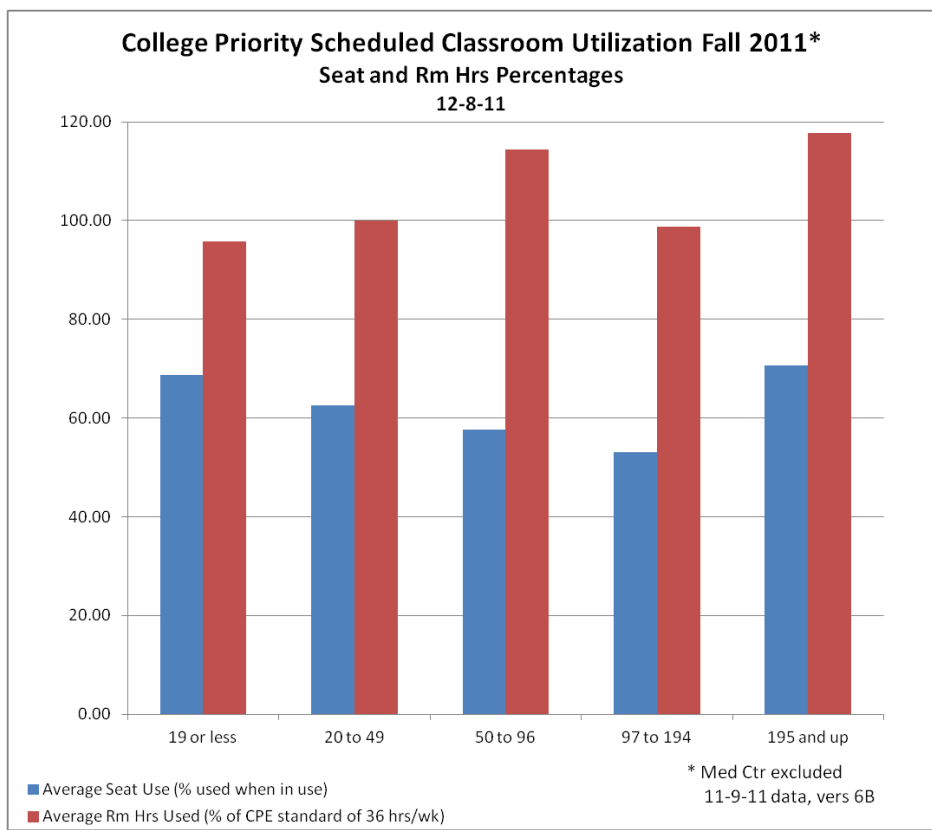
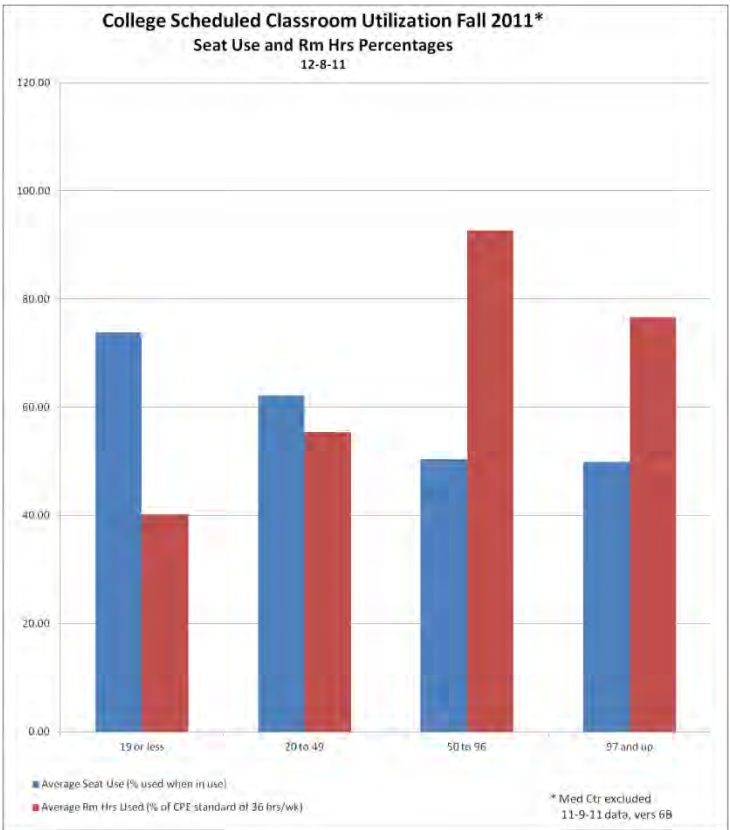
- Classroom utilization data illustrates high current utilization over 36-hour peak scheduling period
- Room occupancy is generally lower than 65% industry guideline; suggests potential for better fit between classroom supply and courses delivered
- Utilization reinforces classroom deficit finding
- Introduction of on-line and ‘short-distance learning’ courses could mitigate some demand on classroom space



Source: Provost Office of Resource Management

# Classroom Utilization – Colleges

- Rooms scheduled exclusively by colleges achieve slightly lower utilization
- ‘College Priority’ rooms achieve very high utilization with some potential for higher occupancy
- Data generally reinforces overall classroom space needs and potential for improved fit



Source: Provost Office of Resource Management

# Program Needs Identified in Stakeholder Meetings

## Instructional Space

- Better mix of classrooms with ability to accommodate flexible furniture, break-out spaces, team learning, technology upgrades, 'smart classrooms'
- Interstitial and outdoor space to support collaboration; 'Engagement Center' for off-campus students
- Request for larger classrooms (100 seats) and large lecture hall (500 seats)

## Office Space

## Lab Space

- Renovated lab space for Arts and Sciences (Chemistry and Physics and Sloan Building are priorities)
- Flexible lab space that can be shared; simulation labs
- Space for anthropology collection
- Studio and shop space for design programs;
- Music practice rooms and band facility

## Research Space

- Arts and Sciences research space
- BBSRB II (biological sciences)

## Public and Event Space

- More public spaces and meeting space to host events
- Conference space with large event space
- Exhibit space, TV studio (Patterson School need)
- Roadhouse Theatre

# TAKEAWAYS

- **Quality and condition** of existing buildings and infrastructure is a concern and limits utility of current space
- There is a need to identify the ideal **mix of classrooms** and other instructional space to meet the University's mission
- There is potential to **expand learning opportunities beyond the classroom**
- There is a need to establish **space needs to accommodate growth** in enrollment and research programs
- Are there opportunities to move non-academic functions out of the core to free up space for academic programs?

A large, stylized number '5' is the central graphic element. It is composed of a light blue background with a white cutout in the center. The '5' is positioned on the left side of the page, with its right edge overlapping the blue background area where the text is located.

# CAMPUS LIFE

Student Life

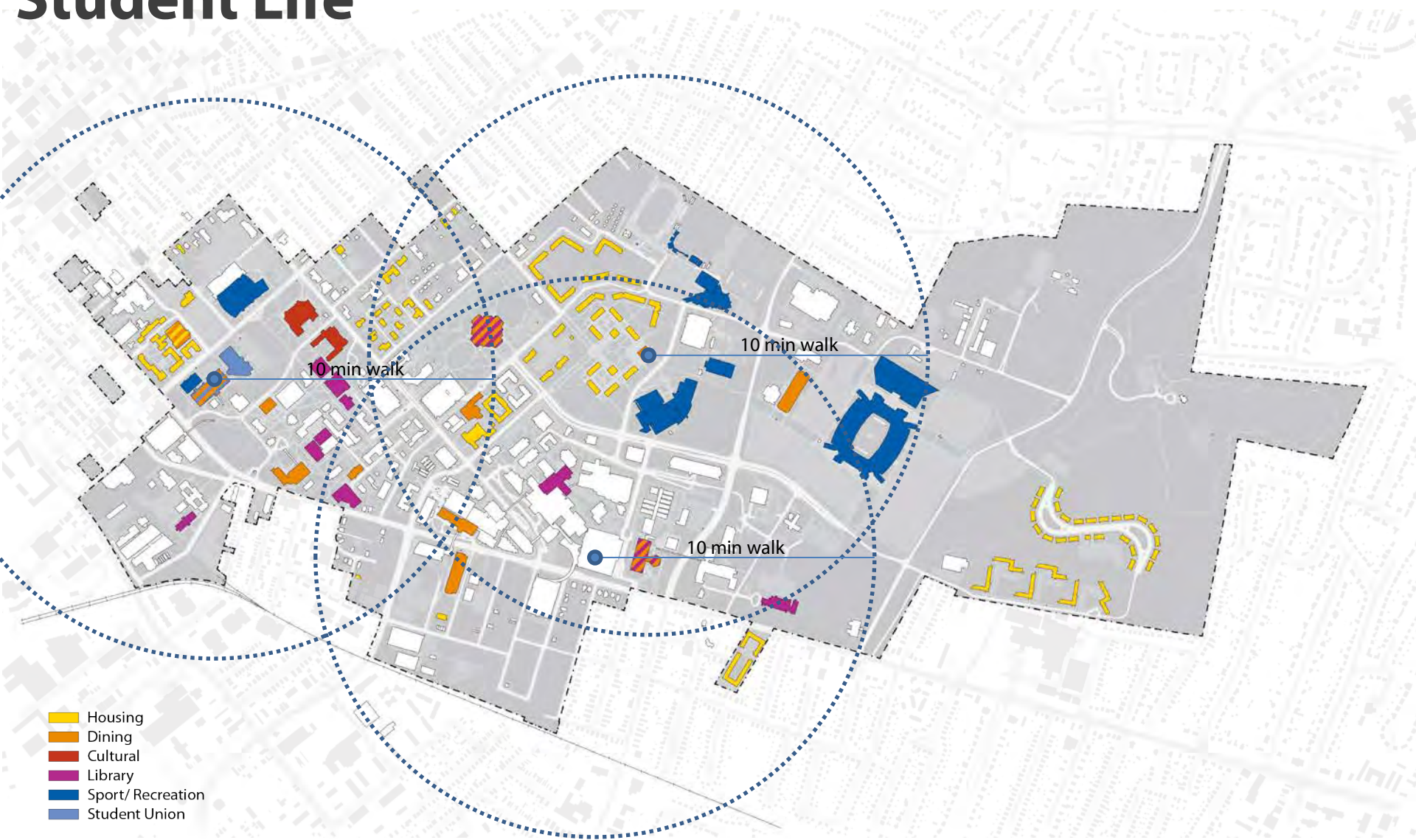
Student Center

On-Campus Housing

Greek Life

Student Living

# Student Life



- Housing
- Dining
- Cultural
- Library
- Sport/ Recreation
- Student Union

Data Sources:  
Library Map – UK Campus Physical Plant Division (REV: 20111216)  
Campus Dining Locations – UK Campus Physical Plant Division (REV: 20110805)

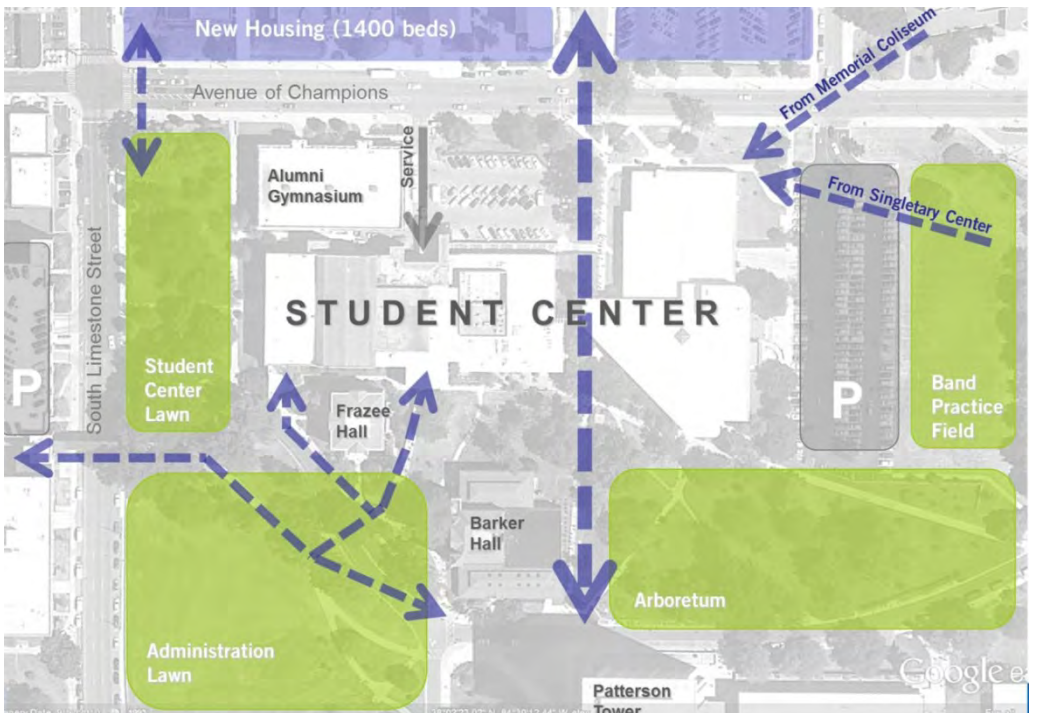




# Existing Student Center

Existing Student Center  
1938 section: 71,500 gsf  
1963 section: 87,500 gsf  
1982 section: 61,000 gsf  
Total: 220,000 gsf

Perkins + Will  
Target expansion: 50,000 gsf  
TOTAL: 270,000 gsf



# Proposed Student Centers



## Student Center North:

Existing GSF: 220,000 gsf

Program

- Student Activities, Leadership, and Involvement
- Study Lounges/Social Lounges/Recreation
- Multi-Purpose Ballroom/Conference/Meeting
- Dining Service 33,727 gsf
- Bookstore 26,220 gsf
- Theater
- Building Services
- Non-Assignable Area 83,232 gsf

## Student Center South:

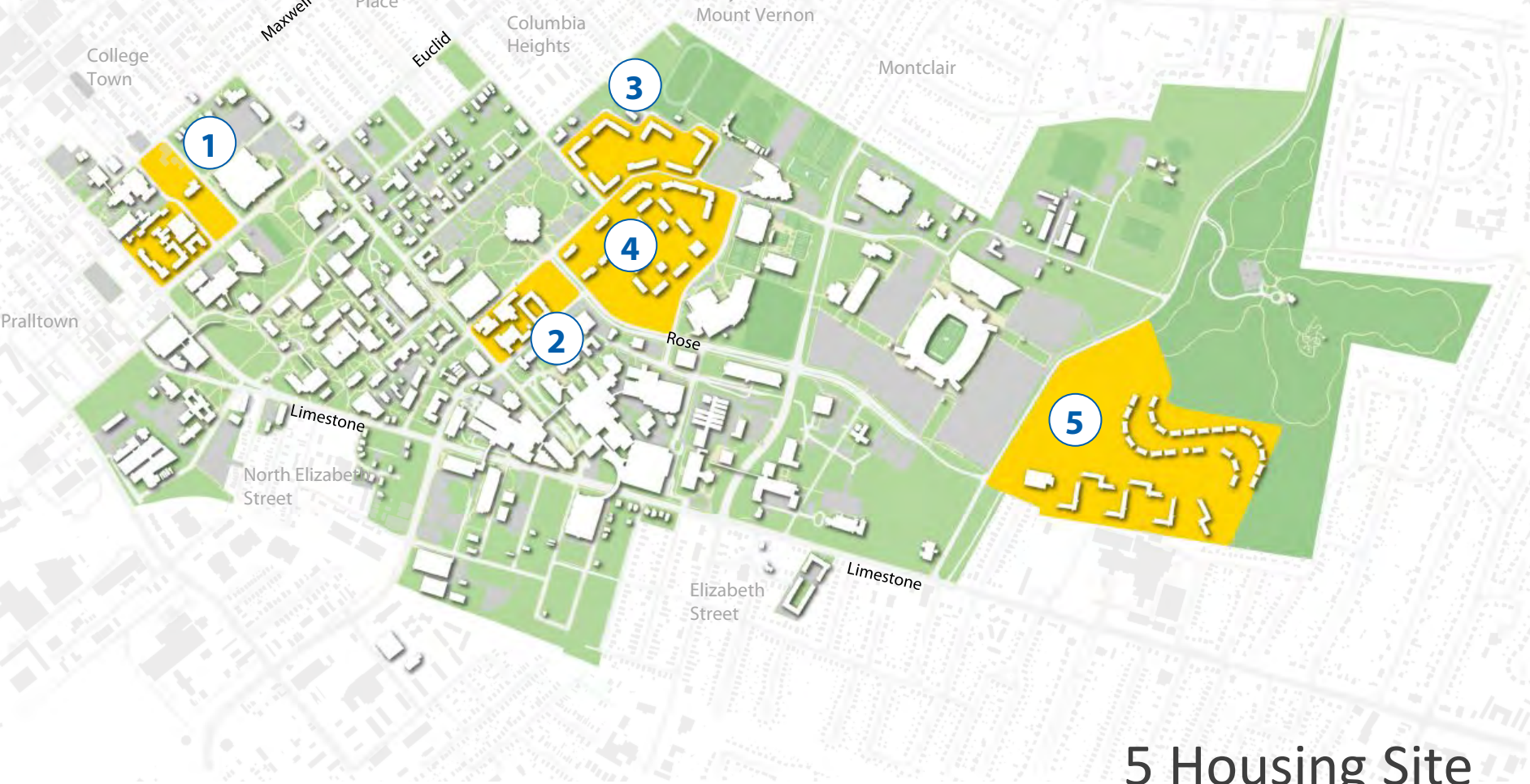
Proposed GSF: ?

Program

- Student Activities, Leadership, and Involvement
- Study Lounges/Social Lounges/Recreation
- Multi-Purpose Ballroom/Conference/Meeting
- \*Dining Service --Replace KB Dining 25,000 gsf
- Retail
- Student Center Administration
- Building Services
- Non-Assignable Area

# Campus Housing Areas

Downtown



5 Housing Site

# Greek Life

Downtown

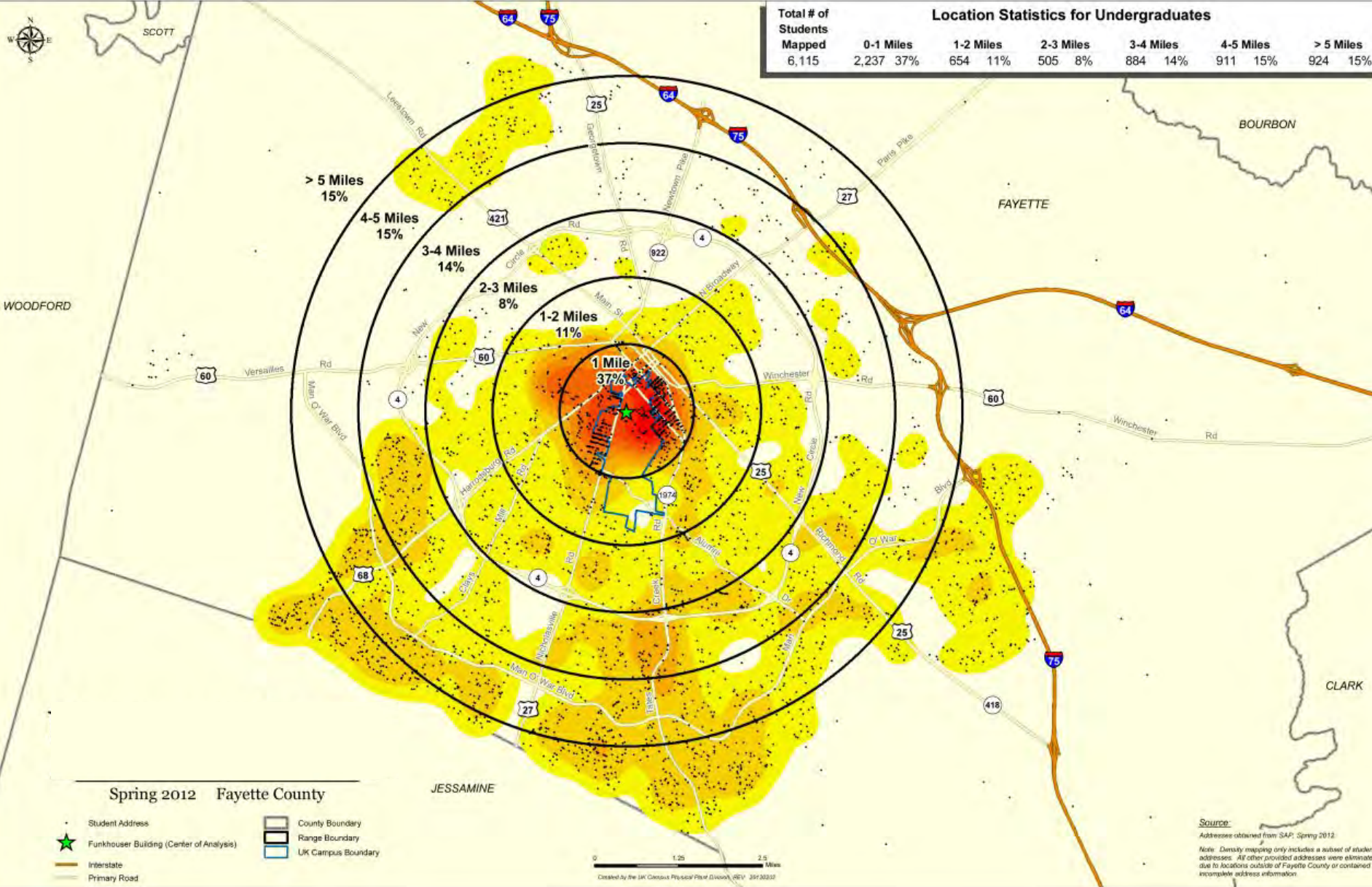


Greek Housing  
Housing Sites



# Student Living Undergraduate Students

Total # of Students Mapped	Location Statistics for Undergraduates					
	0-1 Miles	1-2 Miles	2-3 Miles	3-4 Miles	4-5 Miles	> 5 Miles
6,115	2,237 37%	654 11%	505 8%	884 14%	911 15%	924 15%



**Source:** Addresses obtained from SAP, Spring 2012.

**Note:** Density mapping only includes a subset of student addresses. All other provided addresses were eliminated due to locations outside of Fayette County or contained incomplete address information.

# TAKEAWAYS

- Need to accommodate **9000 undergraduate beds** on campus and perhaps 500 to 1000 graduate beds near campus
- **Graduate housing** often serves international students; some that have families. Community space and transportation are necessary for this group
- **Off campus graduate and/or upper class housing locations** might contribute to broader community-building goals in alignment with City desires
- There is a **lack of amenities near existing residential areas**, especially in South Campus
- **Lack of student and commercial services in private student housing** areas to the west of campus (South Broadway and Angliana)

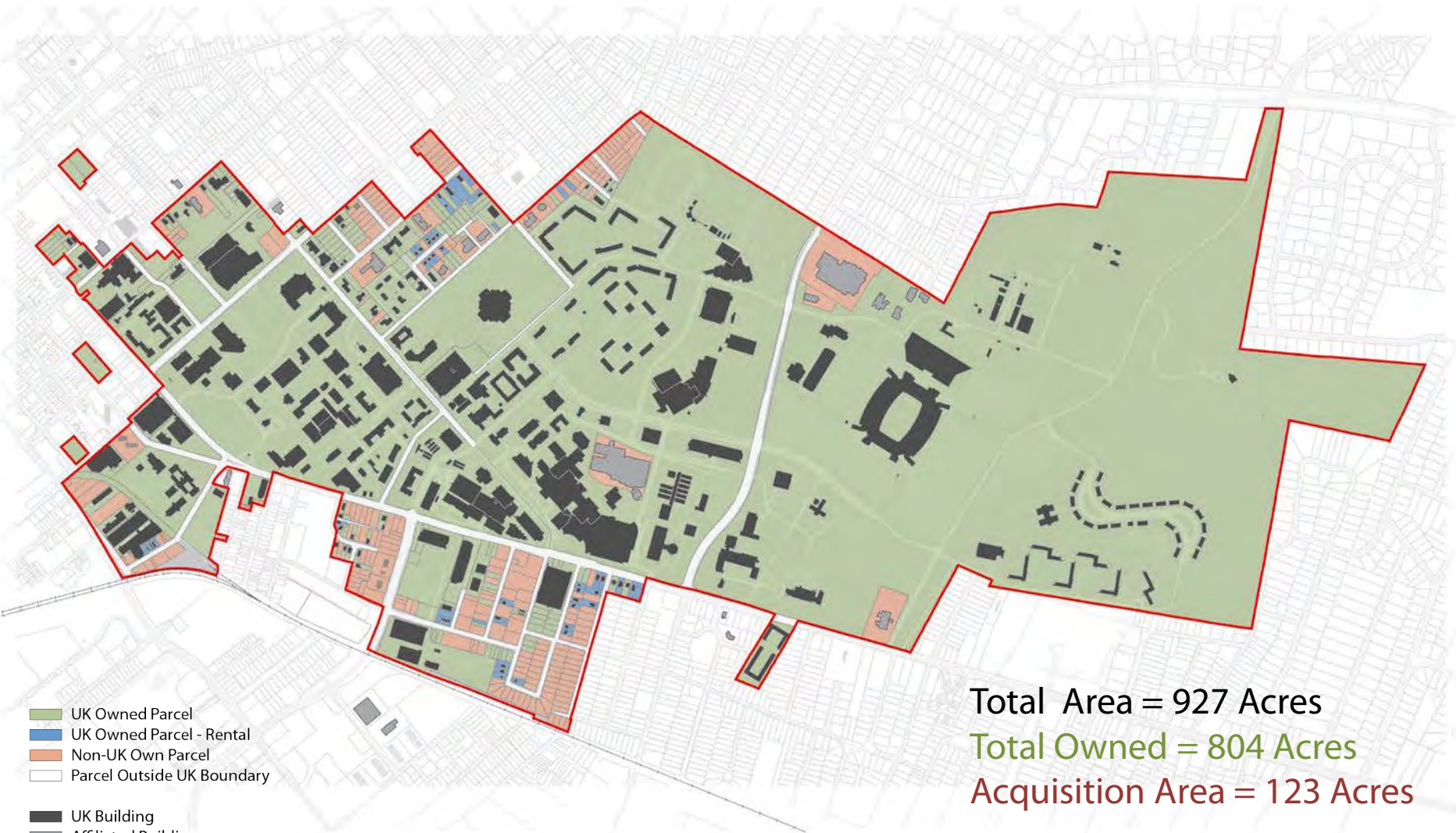


# **GROWTH**

INFILL GROWTH

CAMPUS EXPANSION

# Acquisition Area and Parcel Inventory



- UK Owned Parcel
- UK Owned Parcel - Rental
- Non-UK Own Parcel
- Parcel Outside UK Boundary
- UK Building
- Affiliated Building
- Acquisition Boundary

Total Area = 927 Acres  
Total Owned = 804 Acres  
Acquisition Area = 123 Acres

Data Sources:  
GIS Property Boundaries - Lexington-Fayette Urban County Government GIS Office (20120821)  
Property Information - Fayette County Property Valuation Administrator's Office (20120821)



# Historic Buildings

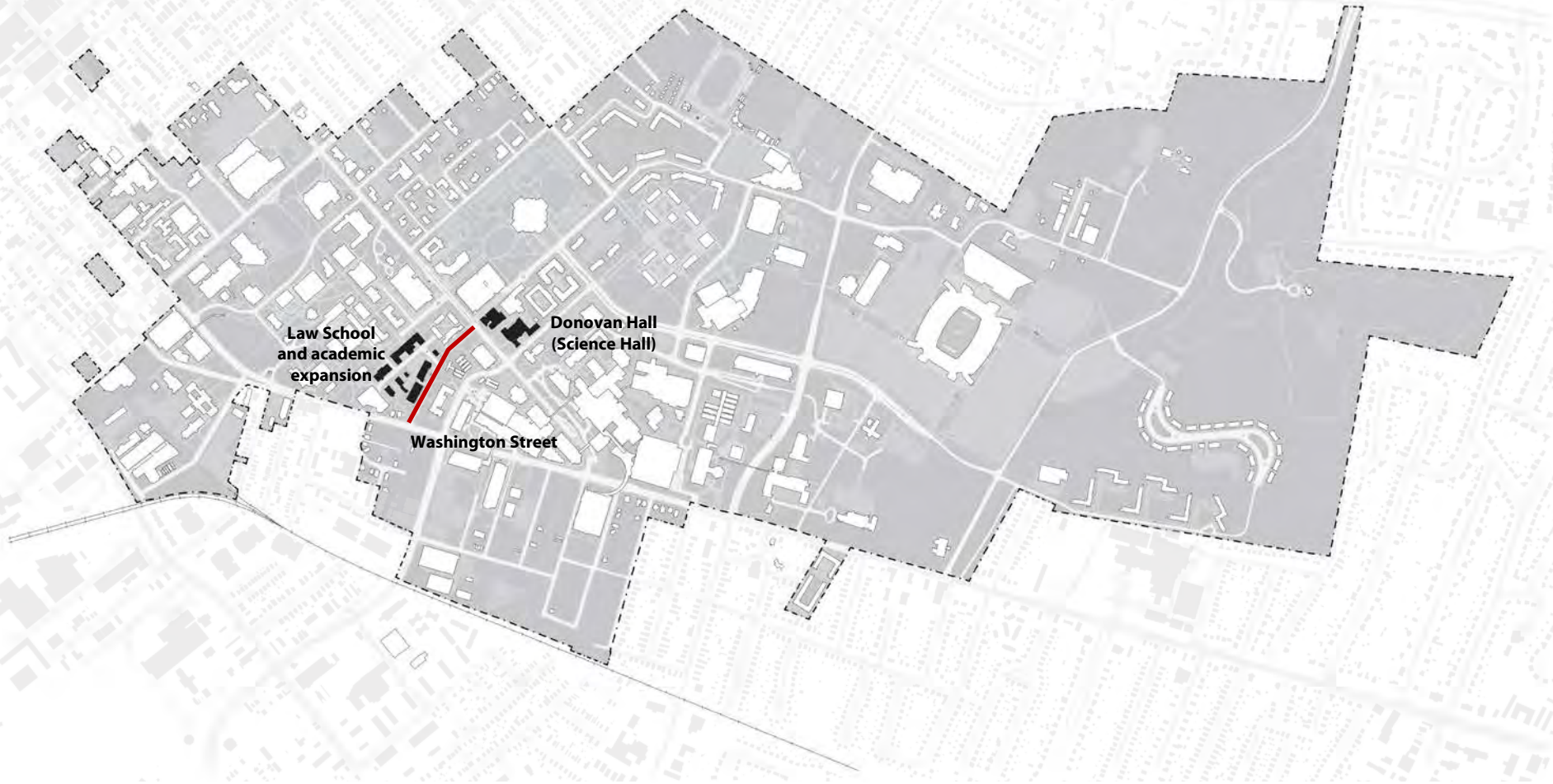


- Historic Building
- National Register of Historic Places
- Historic Building & National Register of Historic Places
- Historic Building & Kentucky Landmark

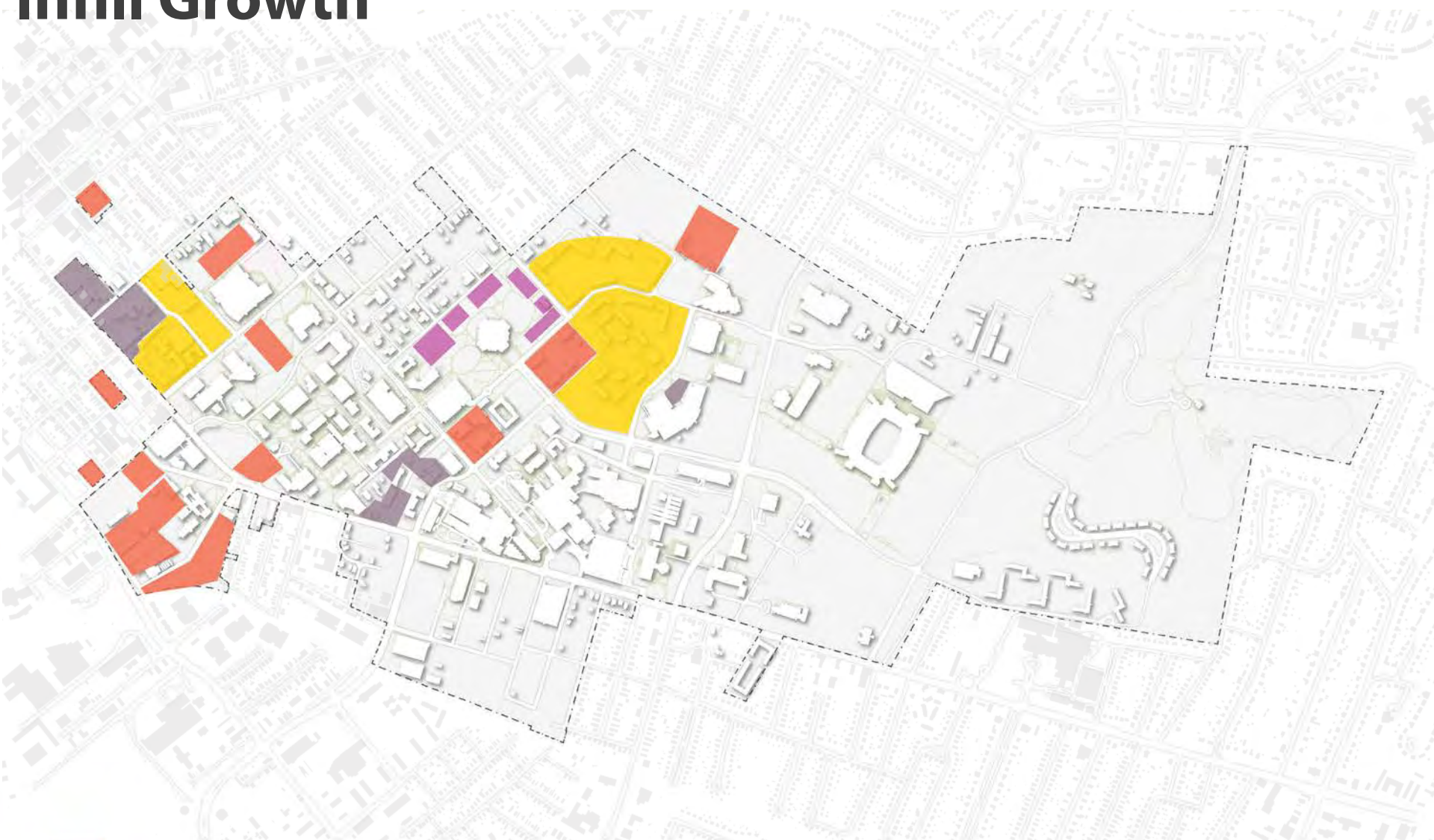
**Historic buildings enrich the architectural quality of the campus by reflecting its development over time.**





Data Sources:  
Original Map Created by Facilities Management (REV: 20120927)

# Possible Demolition Sites



# Infill Growth



-  Housing Infill = 41.2 acres (5,600 – 7,000 beds)
-  Ready Infill = 40.2 acres
-  37 year Infill = 6.2 acres
-  Future Infill = 14.7 acres

**Total = 102.3 acres**



# TAKEAWAYS

- A more detailed **strategy for expansion areas** is needed, together with an understanding of potential partnerships
- Some buildings with **historic character** have been identified for **demolition** in order to increase campus density.
- Several **capital projects** need to be accommodated
- Plans for **building demolition** free up space, which should be considered in the context of broader campus organization, open space structure and place-making

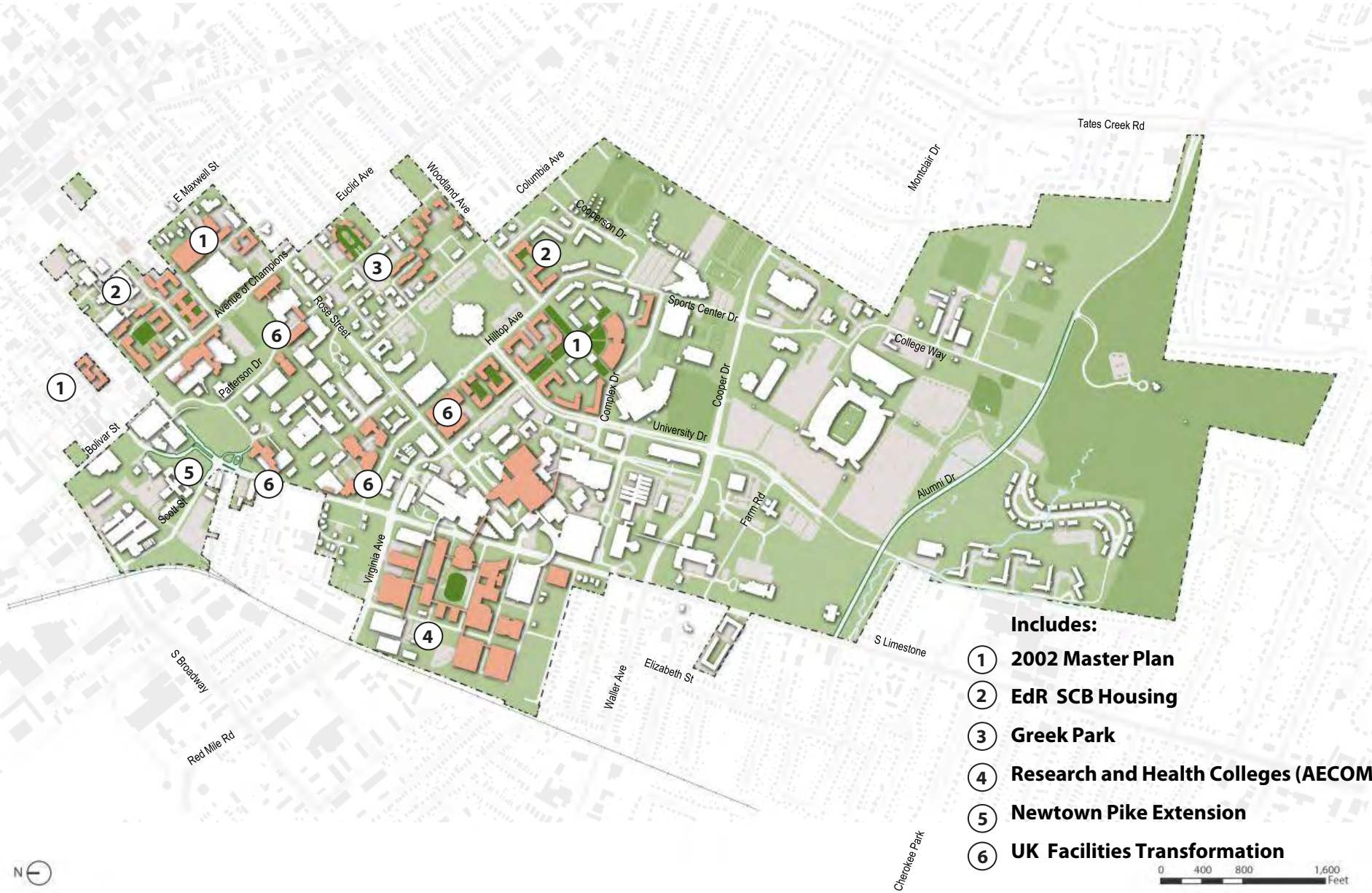
# FRAMEWORK PLAN

Current Vision

Existing Framework

Preliminary Framework

# Existing Plan Current Vision

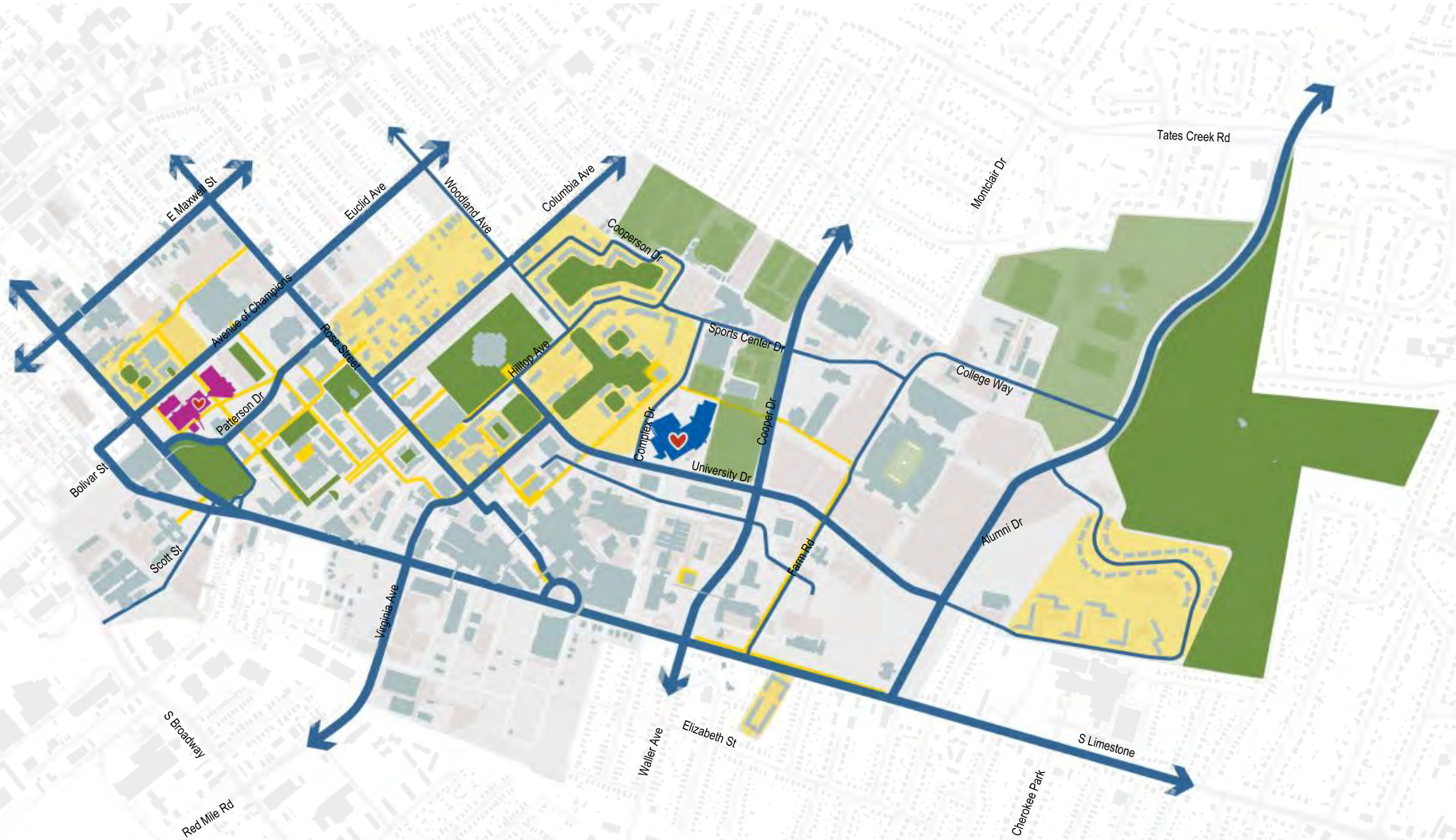


Source: Facilities Transformation Committee Report: 2012

# Existing Plan



# Existing Framework

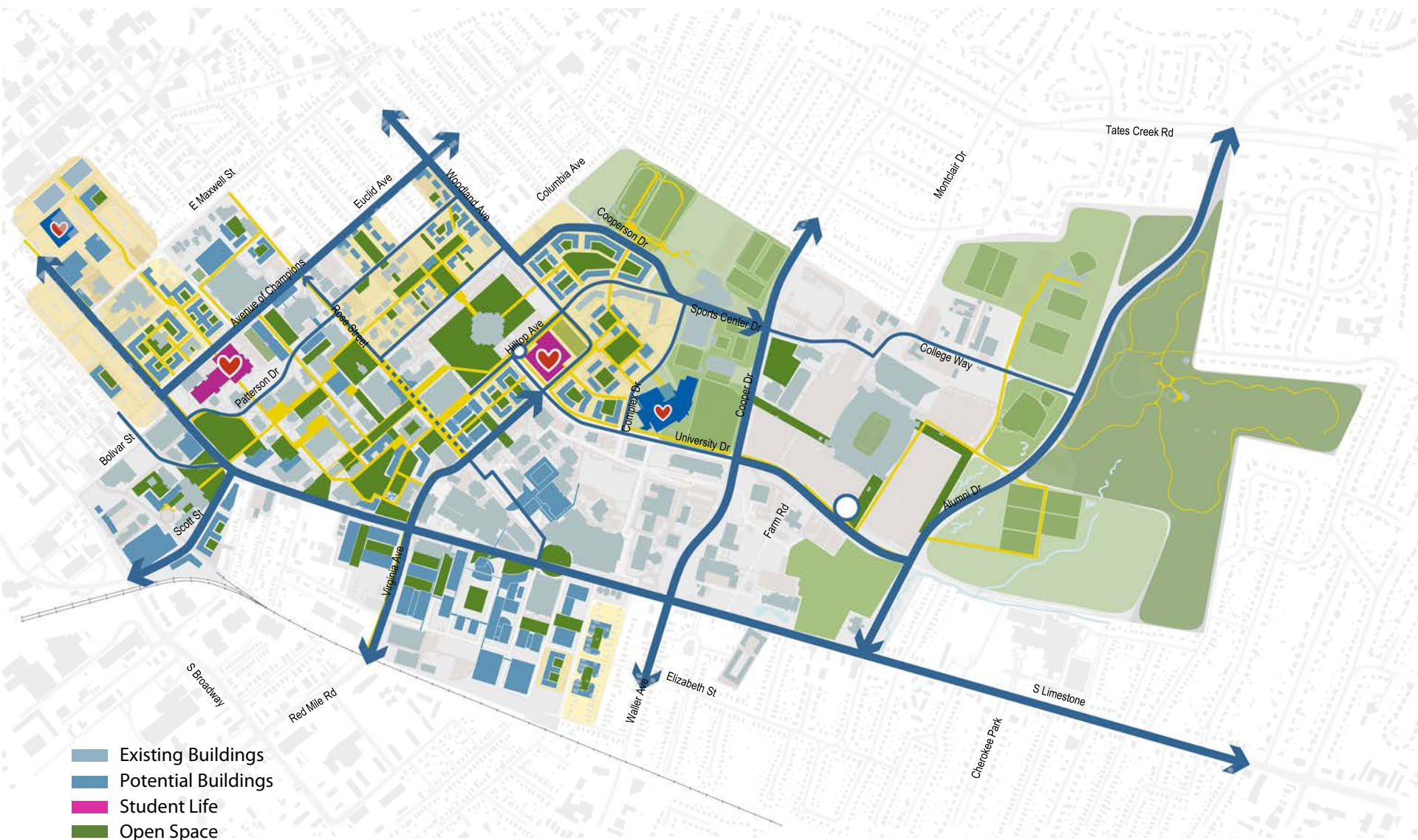


- Student Life
- Open Space
- Pedestrian Circulation
- Vehicular Circulation
- Residential
- Recreation





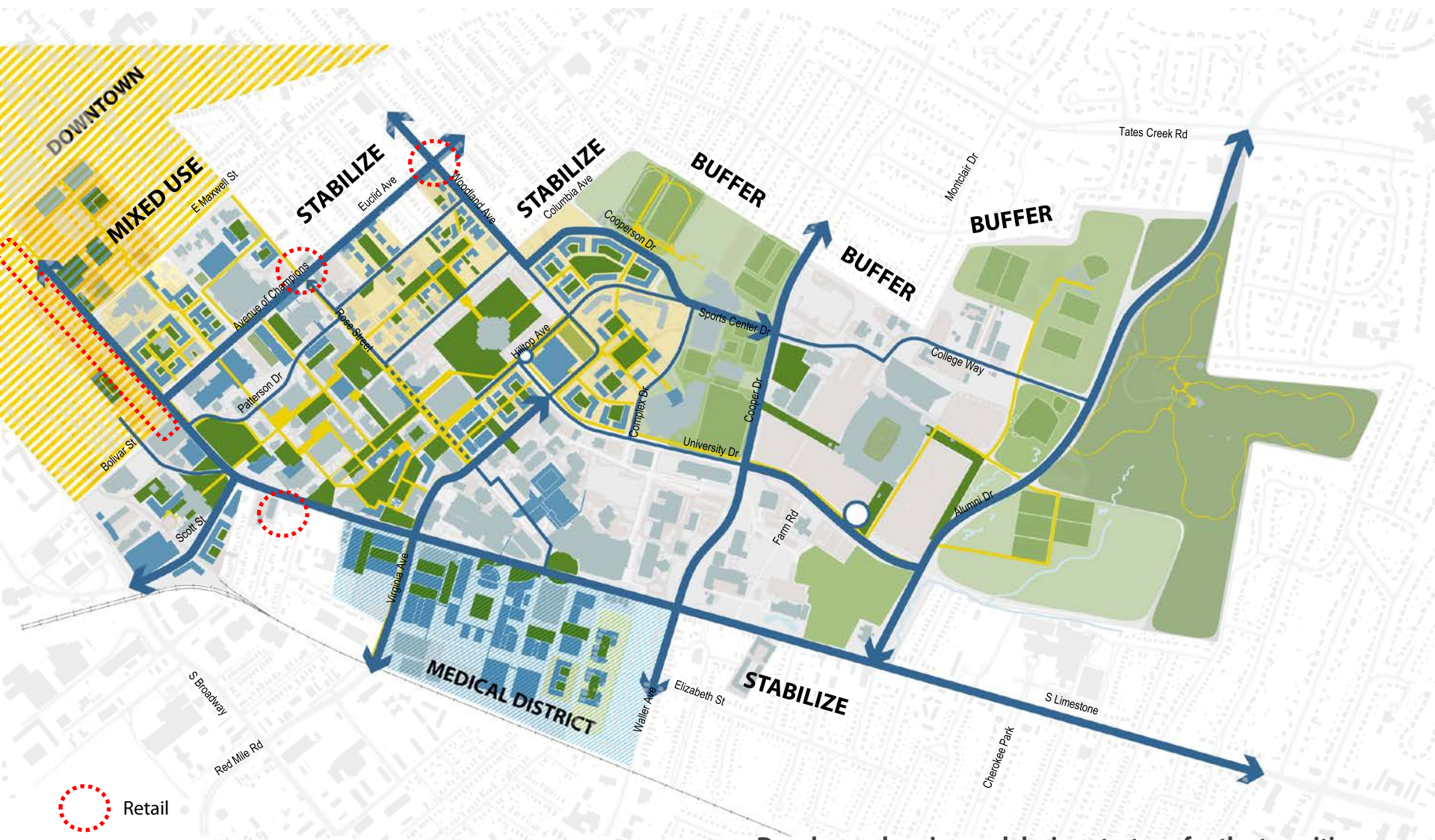
# Preliminary Framework



- Existing Buildings
- Potential Buildings
- Student Life
- Open Space
- Pedestrian Circulation
- Vehicular Circulation
- Recreation Center
- Residential



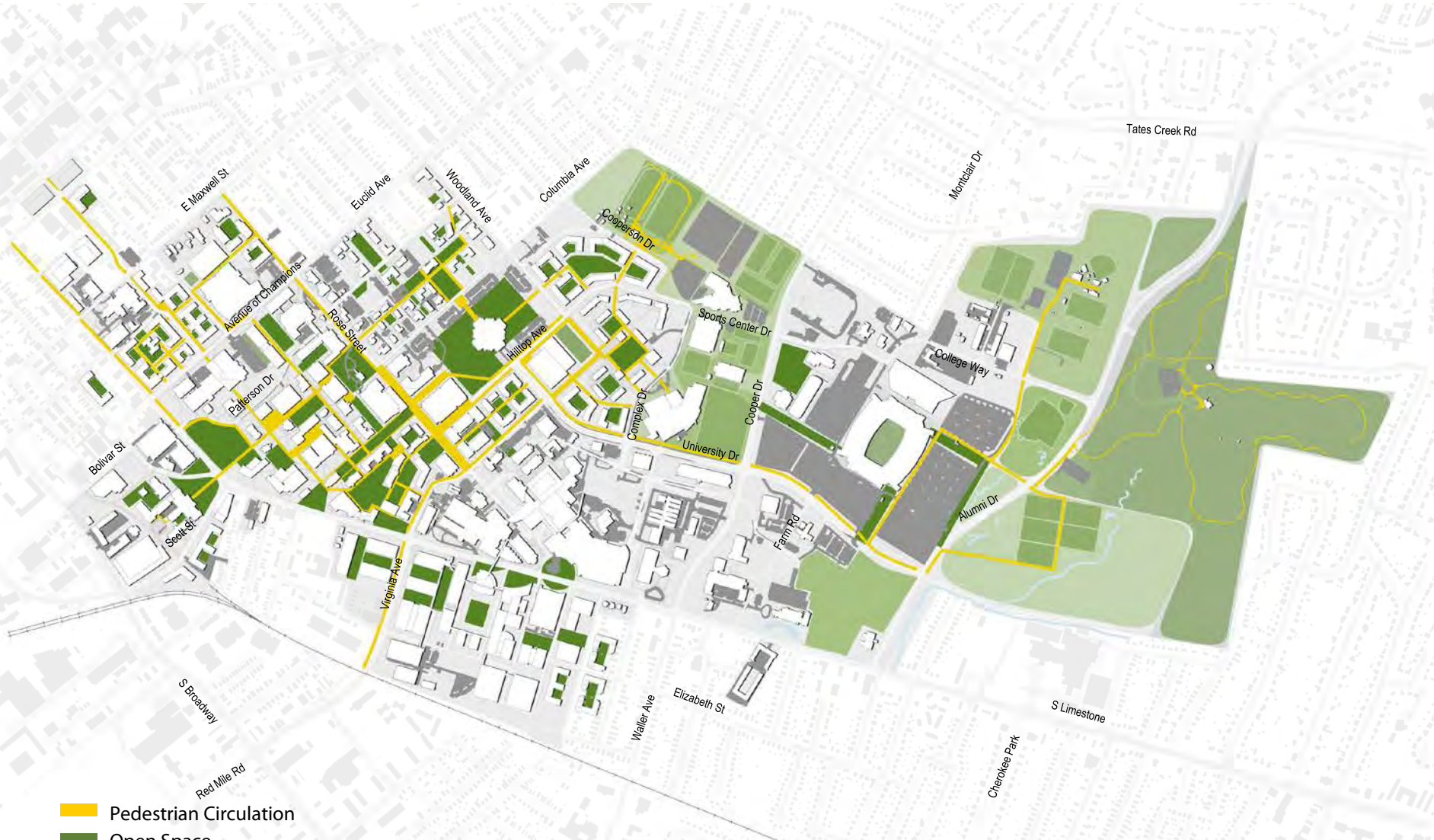
# Preliminary Framework Community



Develop a planning and design strategy for the transition zones around the campus.



# Preliminary Framework Civic Structure

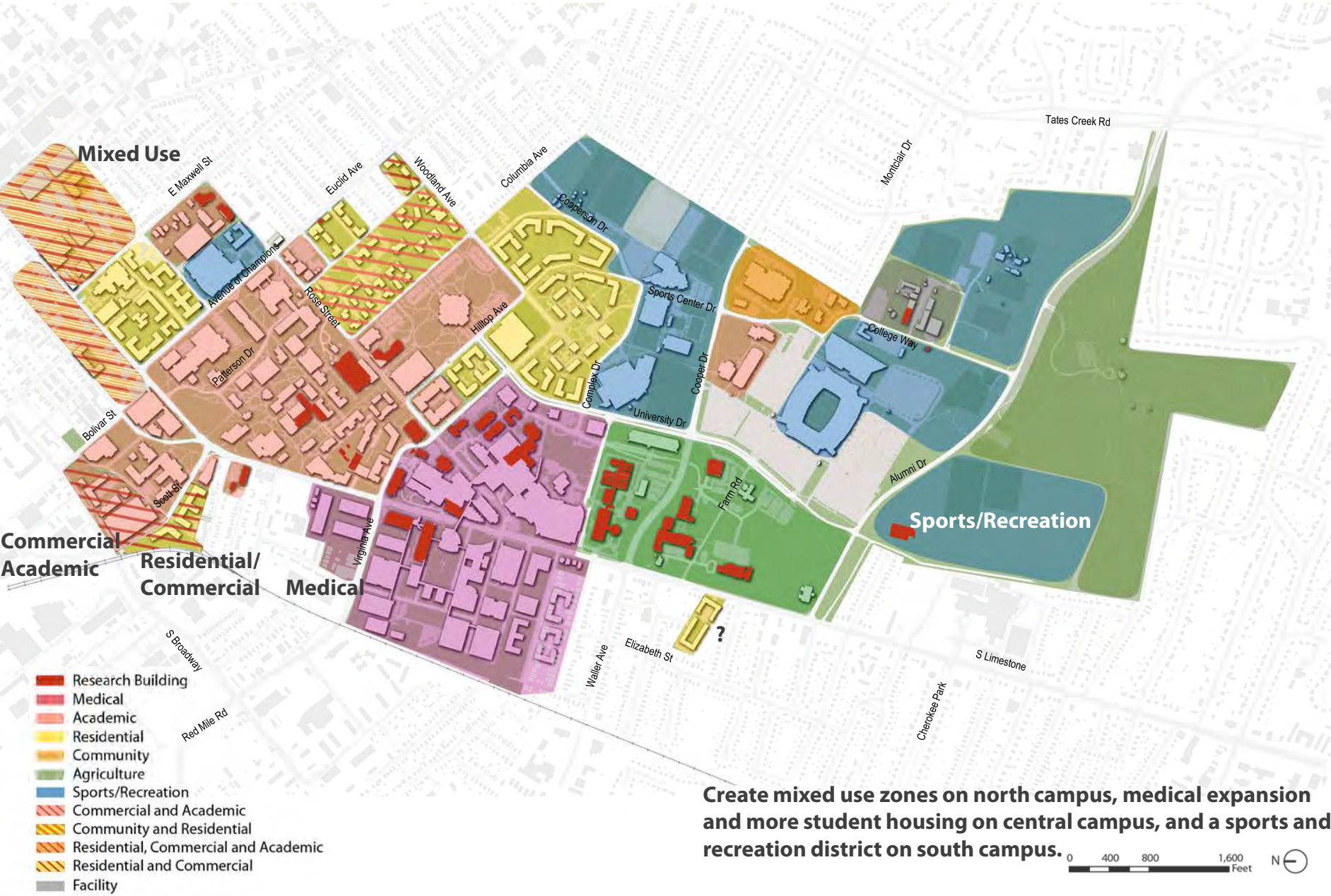


- Pedestrian Circulation
- Open Space
- Athletic Field
- Arboretum
- Parking

**The open space network should serve as the connective tissue for the campus.**

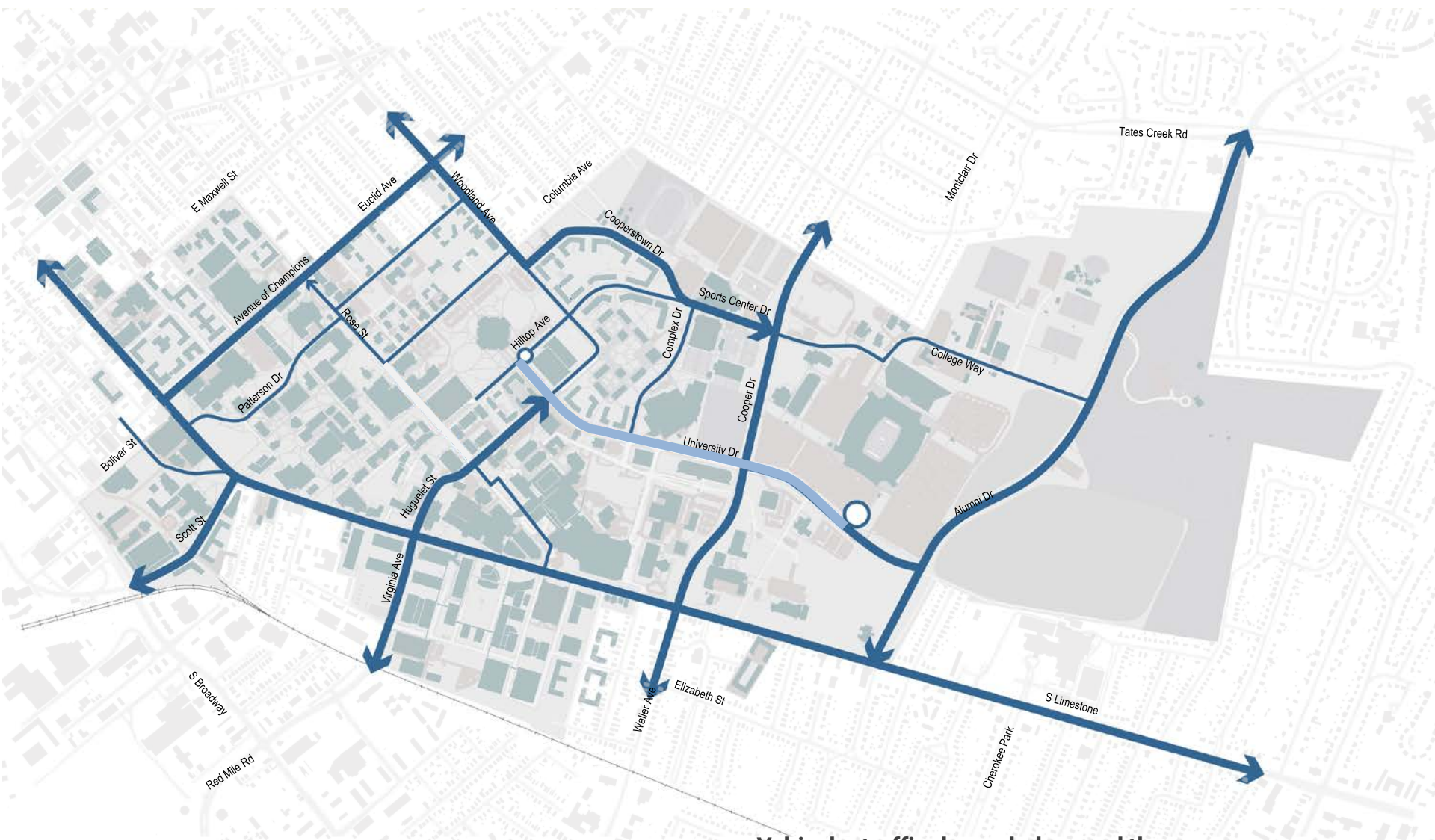




# Preliminary Framework Land Use



**Create mixed use zones on north campus, medical expansion and more student housing on central campus, and a sports and recreation district on south campus.**

# Proposed Framework Mobility

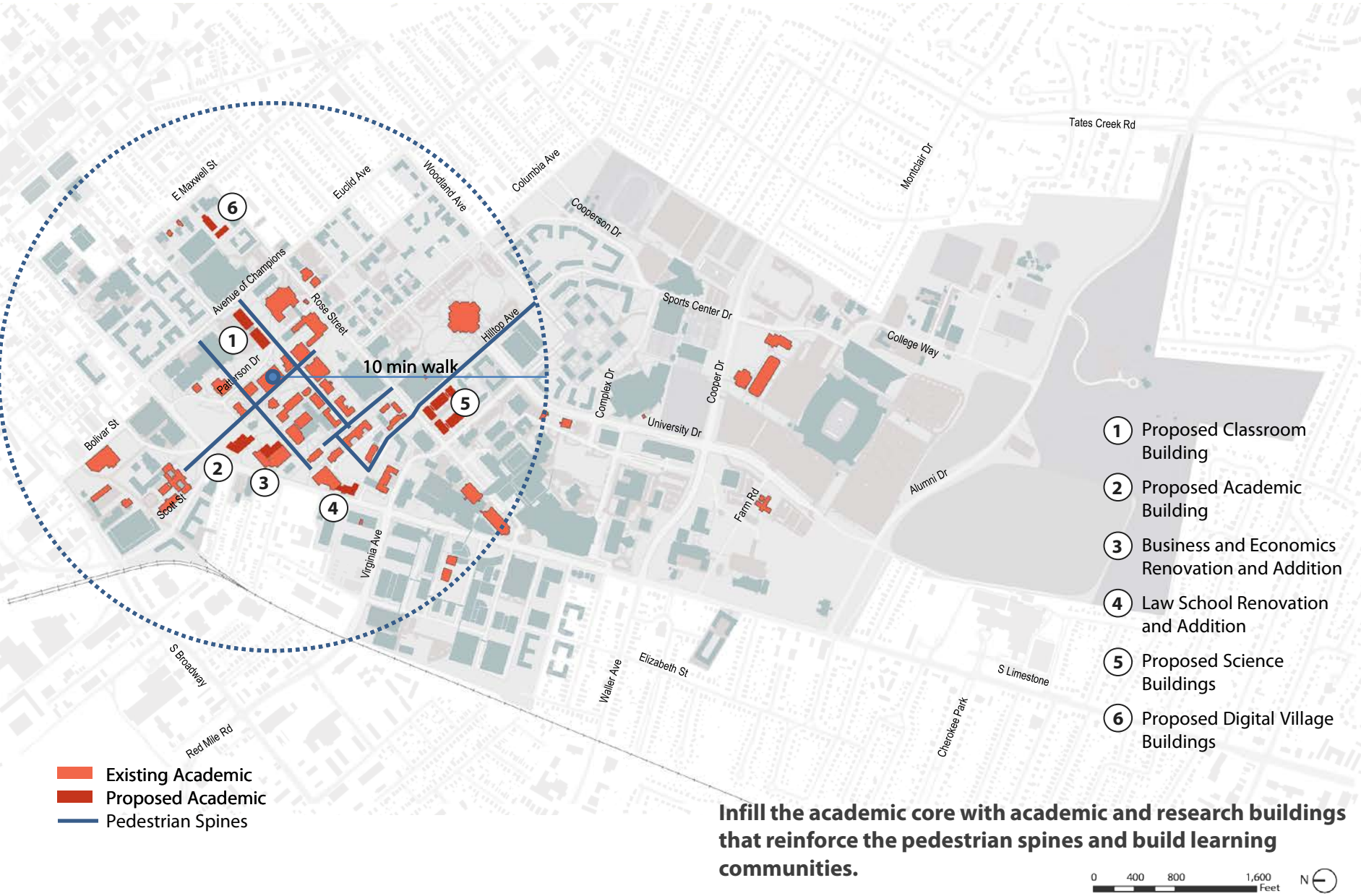


-  Vehicular Circulation
-  Transit Corridor

**Vehicular traffic channeled around the campus core**

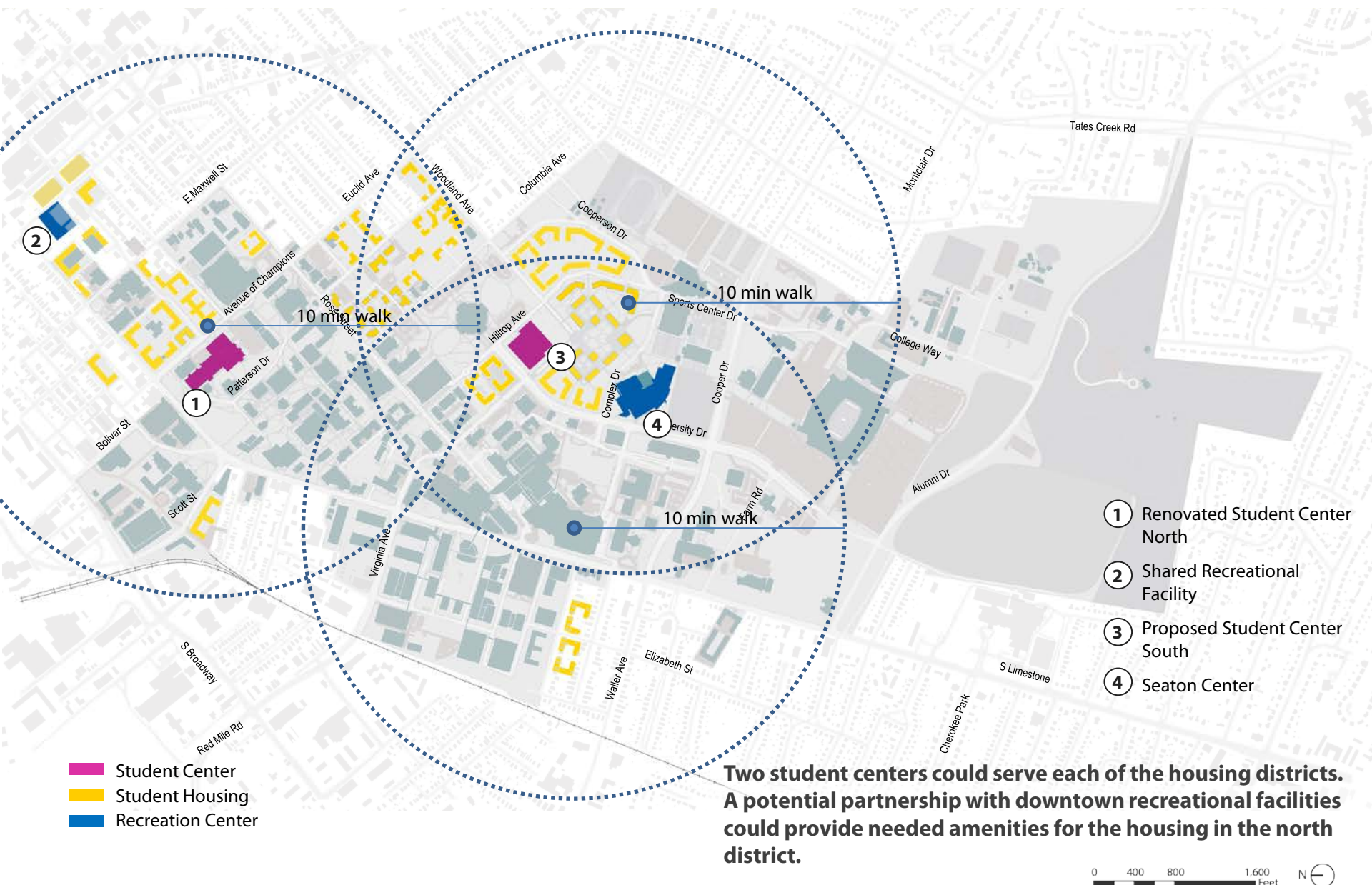


# Preliminary Framework Academic Environment



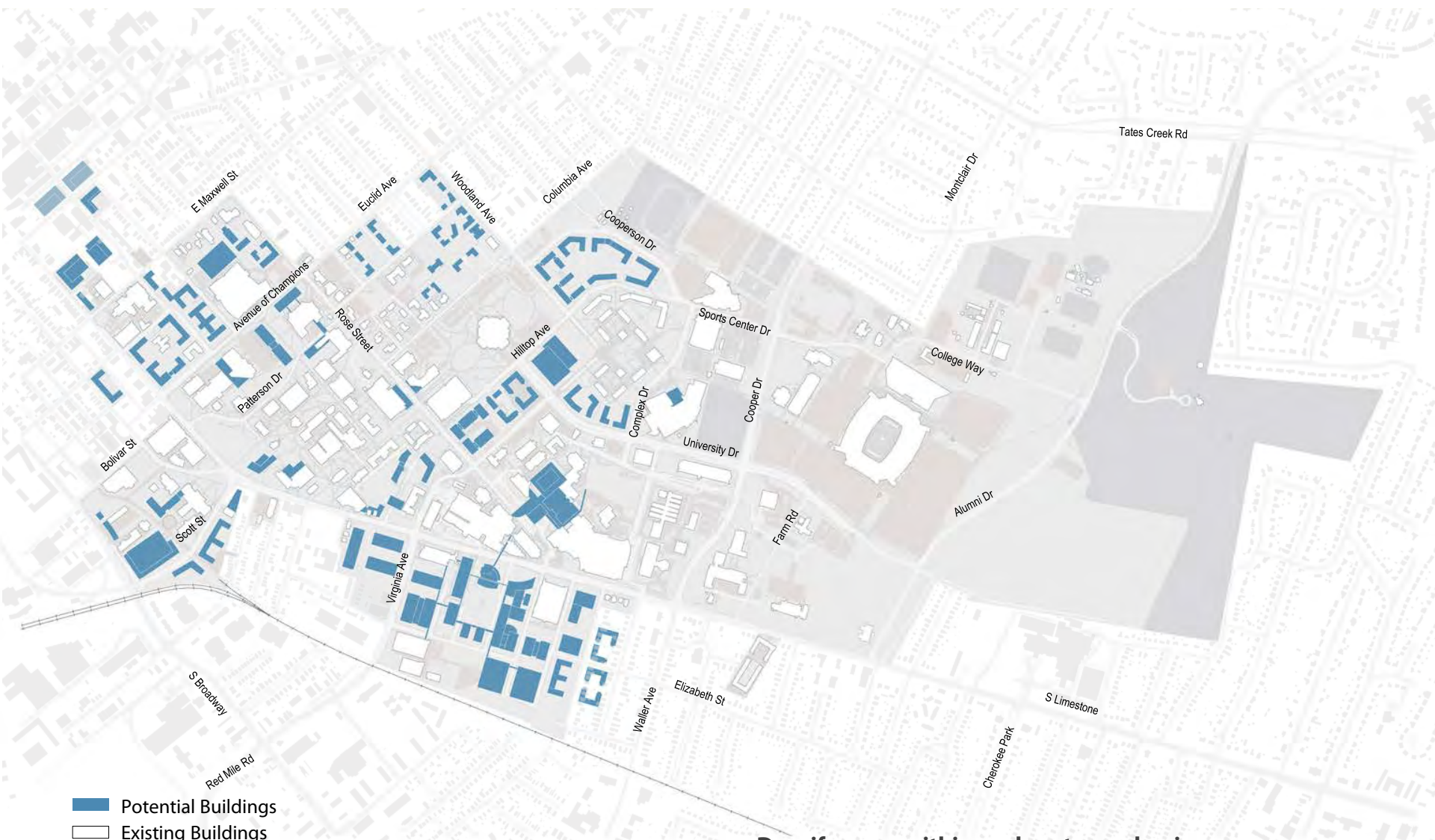
**Infill the academic core with academic and research buildings that reinforce the pedestrian spines and build learning communities.**

# Preliminary Framework Campus Life



**Two student centers could serve each of the housing districts. A potential partnership with downtown recreational facilities could provide needed amenities for the housing in the north district.**

# Preliminary Framework Growth



Densify areas within or close to academic core.





# PRELIMINARY PRINCIPLES

# *COMMUNITY*

Forge partnerships to strengthen the neighborhoods surrounding the campus and downtown



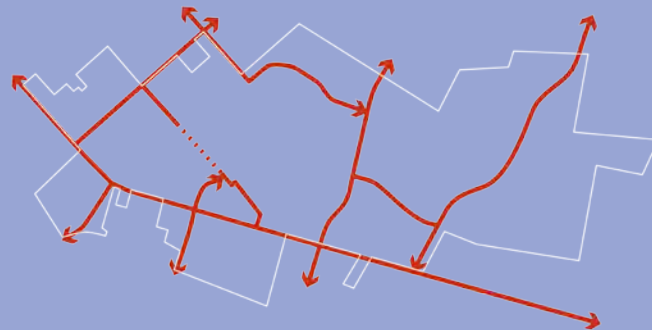
## ***CIVIC STRUCTURE***

**Establish a legible civic structure that improves campus quality and reinforces campus identity**



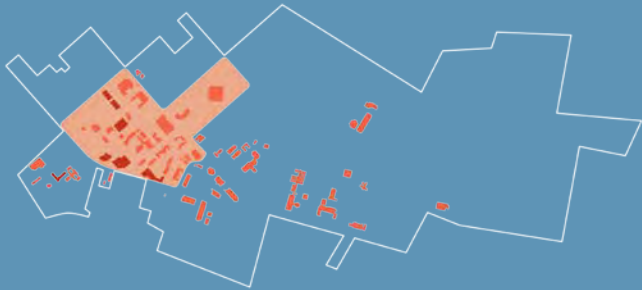
# *MOBILITY*

Facilitate safer and more efficient mobility in support of the Master Plan land use and landscape concepts



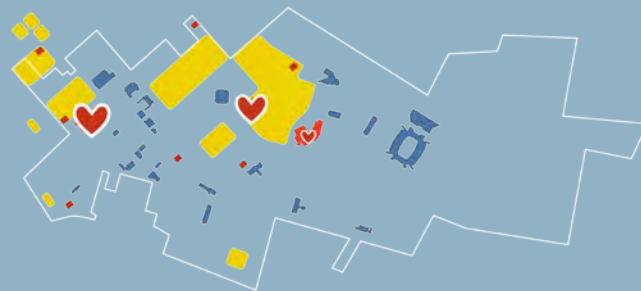
# *ACADEMIC ENVIRONMENT*

**Create a 21st century learning environment that supports the technological, social, economic and creative needs of today's students**



# *CAMPUS LIFE*

**Enhance the student life experience  
and reinforce campus community in  
strong residential districts, both on and  
off campus**



## ***GROWTH***

**Establish a long-term plan for growth management consistent with the UK mission and that efficiently utilizes land resources**



